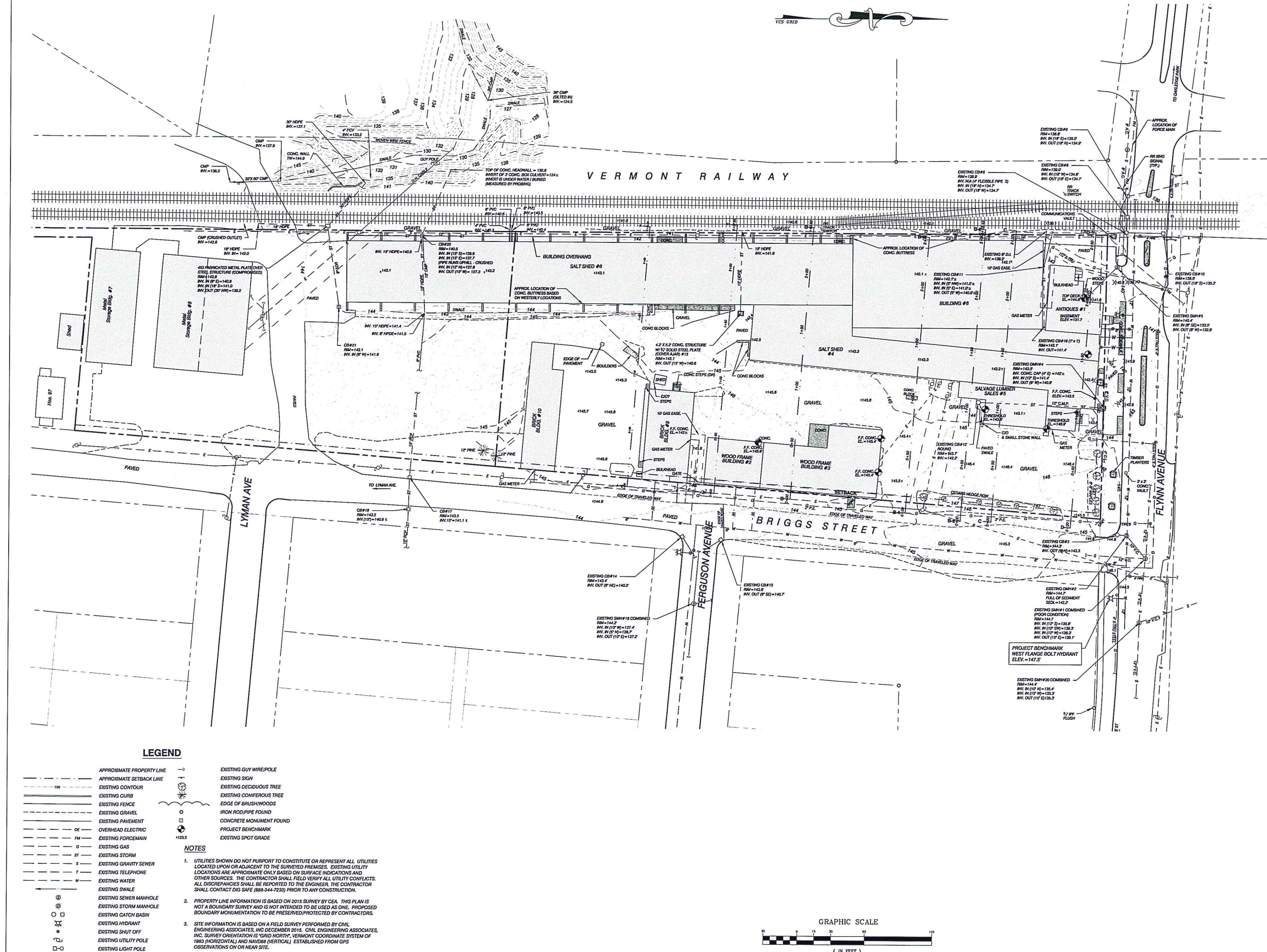


**National Co+op Grocers**  
14 S. Linn Street  
Iowa City, Iowa 52240  
(866) 709-COOP

**APRIL 22, 2016**  
**PERMIT PLANS**  
**NOT FOR CONSTRUCTION**  
**NOT FOR BUILDING PERMIT**



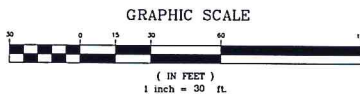


LEGEND

- |     |                           |     |                          |
|-----|---------------------------|-----|--------------------------|
| --- | APPROXIMATE PROPERTY LINE | --- | EXISTING GUY WIRE/POLE   |
| --- | APPROXIMATE SETBACK LINE  | --- | EXISTING SIGN            |
| --- | EXISTING CONTOUR          | --- | EXISTING DECIDUOUS TREE  |
| --- | EXISTING CURB             | --- | EXISTING CONIFEROUS TREE |
| --- | EXISTING FENCE            | --- | EDGE OF BRUSH/WOODS      |
| --- | EXISTING GRAVEL           | --- | IRON ROD/PIPE FOUND      |
| --- | EXISTING PAVEMENT         | --- | CONCRETE MONUMENT FOUND  |
| --- | OVERHEAD ELECTRIC         | --- | PROJECT BENCHMARK        |
| --- | EXISTING FORCEMAIN        | --- | EXISTING SPOT GRADE      |
| --- | EXISTING GAS              |     |                          |
| --- | EXISTING STORM            |     |                          |
| --- | EXISTING GRAVITY SEWER    |     |                          |
| --- | EXISTING TELEPHONE        |     |                          |
| --- | EXISTING WATER            |     |                          |
| --- | EXISTING SWALE            |     |                          |
| --- | EXISTING SEWER MANHOLE    |     |                          |
| --- | EXISTING STORM MANHOLE    |     |                          |
| --- | EXISTING CATCH BASIN      |     |                          |
| --- | EXISTING HYDRANT          |     |                          |
| --- | EXISTING SHUT OFF         |     |                          |
| --- | EXISTING UTILITY POLE     |     |                          |
| --- | EXISTING LIGHT POLE       |     |                          |

NOTES

- UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES. EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY BASED ON SURFACE INDICATIONS AND OTHER SOURCES. THE CONTRACTOR SHALL FIELD VERIFY ALL UTILITY CONFLICTS. ALL DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER. THE CONTRACTOR SHALL CONTACT DIG SAFE (888-344-7233) PRIOR TO ANY CONSTRUCTION.
- PROPERTY LINE INFORMATION IS BASED ON 2015 SURVEY BY CEA. THIS PLAN IS NOT A BOUNDARY SURVEY AND IS NOT INTENDED TO BE USED AS ONE. PROPOSED BOUNDARY MONUMENTATION TO BE PRESERVED/PROTECTED BY CONTRACTORS.
- SITE INFORMATION IS BASED ON A FIELD SURVEY PERFORMED BY CIVIL ENGINEERING ASSOCIATES, INC. DECEMBER 2015. CIVIL ENGINEERING ASSOCIATES, INC. SURVEY ORIENTATION IS "GRID NORTH", VERMONT COORDINATE SYSTEM OF 1983 (HORIZONTAL) AND NAVD83 (VERTICAL) ESTABLISHED FROM GPS OBSERVATIONS ON OR NEAR SITE.



PROGRESS SET

NOT FOR  
CONSTRUCTION



freeman | french | freeman  
81 Main Street - Burlington VT  
802-664-6844 • www.frf.com  
Architecture • Planning • Interior

SITE ENGINEER:



CIVIL ENGINEERING ASSOCIATES, INC.  
2000 Main Street, 11th Floor  
Burlington, VT 05401  
802-664-6844 • Fax: 802-664-6777  
www.frf.com

DEPARTMENT OF  
PLANNING & ZONING

CITY  
MARKET  
SOUTH END

Burlington,  
Vermont

CEA PROJECT NO.

15253

DATE:

04/08/16

SCALE:

1" = 30'

DRAWN BY:

GAC

CHECKED BY:

SAV

DATE:

02/22/2016

Design:

04/15/2016

Development:

04/22/2016

Permit Plans:

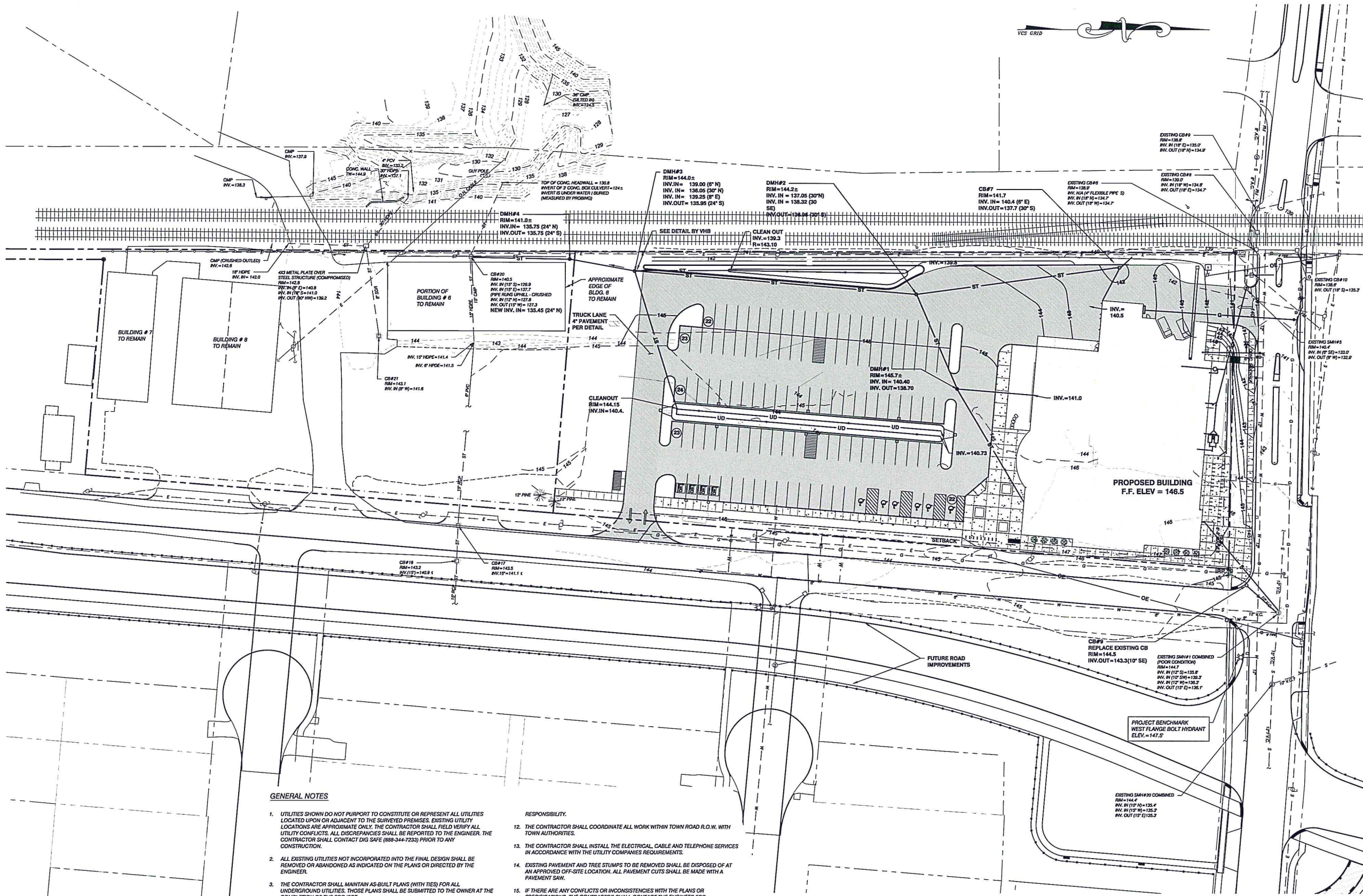
04/22/2016

EXISTING  
CONDITIONS  
SITE PLAN

C1.0

RECEIVED  
APR 22 2016





GENERAL NOTES

- UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES. EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL UTILITY CONFLICTS. ALL DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER. THE CONTRACTOR SHALL CONTACT DIG SAFE (888-344-7233) PRIOR TO ANY CONSTRUCTION.
- ALL EXISTING UTILITIES NOT INCORPORATED INTO THE FINAL DESIGN SHALL BE REMOVED OR ABANDONED AS INDICATED ON THE PLANS OR DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS (WITH TIES) FOR ALL UNDERGROUND UTILITIES. THOSE PLANS SHALL BE SUBMITTED TO THE OWNER AT THE COMPLETION OF THE PROJECT.
- ALL GRASSED AREAS SHALL BE MAINTAINED UNTIL FULL VEGETATION IS ESTABLISHED.
- MAINTAIN ALL TREES OUTSIDE OF CONSTRUCTION LIMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK NECESSARY FOR COMPLETE AND OPERABLE FACILITIES AND UTILITIES.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL ITEMS AND MATERIALS INCORPORATED INTO THE SITE WORK. WORK SHALL NOT BEGIN ON ANY ITEM UNTIL SHOP DRAWING APPROVAL IS GRANTED.
- IN ADDITION TO THE REQUIREMENTS SET IN THESE PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL COMPLETE THE WORK IN ACCORDANCE WITH ALL PERMIT CONDITIONS AND ANY LOCAL PUBLIC WORKS STANDARDS.
- THE TOLERANCE FOR FINISH GRADES FOR ALL PAVEMENT, WALKWAYS AND LAWN AREAS SHALL BE 0.1 FEET.
- ANY DEWATERING NECESSARY FOR THE COMPLETION OF THE SITEWORK SHALL BE CONSIDERED AS PART OF THE CONTRACT AND SHALL BE THE CONTRACTORS RESPONSIBILITY.

RESPONSIBILITY.

- THE CONTRACTOR SHALL COORDINATE ALL WORK WITHIN TOWN ROAD R.O.W. WITH TOWN AUTHORITIES.
- THE CONTRACTOR SHALL INSTALL THE ELECTRICAL, CABLE AND TELEPHONE SERVICES IN ACCORDANCE WITH THE UTILITY COMPANIES REQUIREMENTS.
- EXISTING PAVEMENT AND TREE STUMPS TO BE REMOVED SHALL BE DISPOSED OF AT AN APPROVED OFF-SITE LOCATION. ALL PAVEMENT CUTS SHALL BE MADE WITH A PAVEMENT SAW.
- IF THERE ARE ANY CONFLICTS OR INCONSISTENCIES WITH THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR VERIFICATION BEFORE WORK CONTINUES ON THE ITEM IN QUESTION.
- PROPERTY LINE INFORMATION IS APPROXIMATE AND BASED ON EXISTING TAX MAP INFORMATION. THIS PLAN IS NOT A BOUNDARY SURVEY AND IS NOT INTENDED TO BE USED AS ONE.
- IF THE BUILDING IS TO BE SPRINKLERED, BACKFLOW PREVENTION SHALL BE PROVIDED IN ACCORDANCE WITH AWWA M14. THE SITE CONTRACTOR SHALL CONSTRUCT THE WATER LINE TO TWO FEET ABOVE THE FINISHED FLOOR. SEE MECHANICAL PLANS FOR RISER DETAIL.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING TESTING AND INSPECTION SERVICES INDICATED IN THE CONTRACT DOCUMENTS, TYPICAL FOR CONCRETE AND SOIL TESTING.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT AND FIELD ENGINEERING REQUIRED FOR COMPLETION OF THE PROJECT. CIVIL ENGINEERING ASSOCIATES WILL PROVIDE AN AUTOCAD FILE WHERE APPLICABLE.
- THE OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ANY AND ALL SAFETY FENCES OR RAILS ABOVE EXISTING AND PROPOSED WALLS. THE OWNER SHALL VERIFY LOCAL, STATE AND INSURANCE REQUIREMENT GUIDELINES FOR THE INSTALLATION AND VERIFY ANY AND ALL PERMITTING REQUIREMENTS.

LEGEND

—	PROPOSED CONTOUR
—	PROPOSED PAVEMENT
—	PROPOSED OVERHEAD ELECTRIC
—	PROPOSED UNDERGROUND ELECTRIC
—	PROPOSED GAS
—	PROPOSED STORM
—	PROPOSED GRAVITY SEWER
—	PROPOSED WATER
—	PROPOSED CATCH BASIN
—	PROPOSED HYDRANT
—	PROPOSED SHUT OFF
—	PROPOSED UTILITY POLE
—	PROPOSED STORM MANHOLE

PROGRESS SET

NOT FOR  
CONSTRUCTION



freeman | frech | freeman  
81 Maple Street • Burlington VT  
802-664-0544 • www.ffc.com  
Architects • Planners • Engineers

SITE ENGINEER:



CIVIL ENGINEERING ASSOCIATES, INC.  
100 WOODLAND AVENUE  
BURLINGTON, VT 05401  
TEL: 802-255-2071  
WWW.CIVIL-ENG-ASSOCIATES.COM

DEPARTMENT OF  
PLANNING & ZONING

APR 22 2016

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CITY  
MARKET  
SOUTH END

Burlington,  
Vermont

15253

04/06/16 1" = 30'

MAB

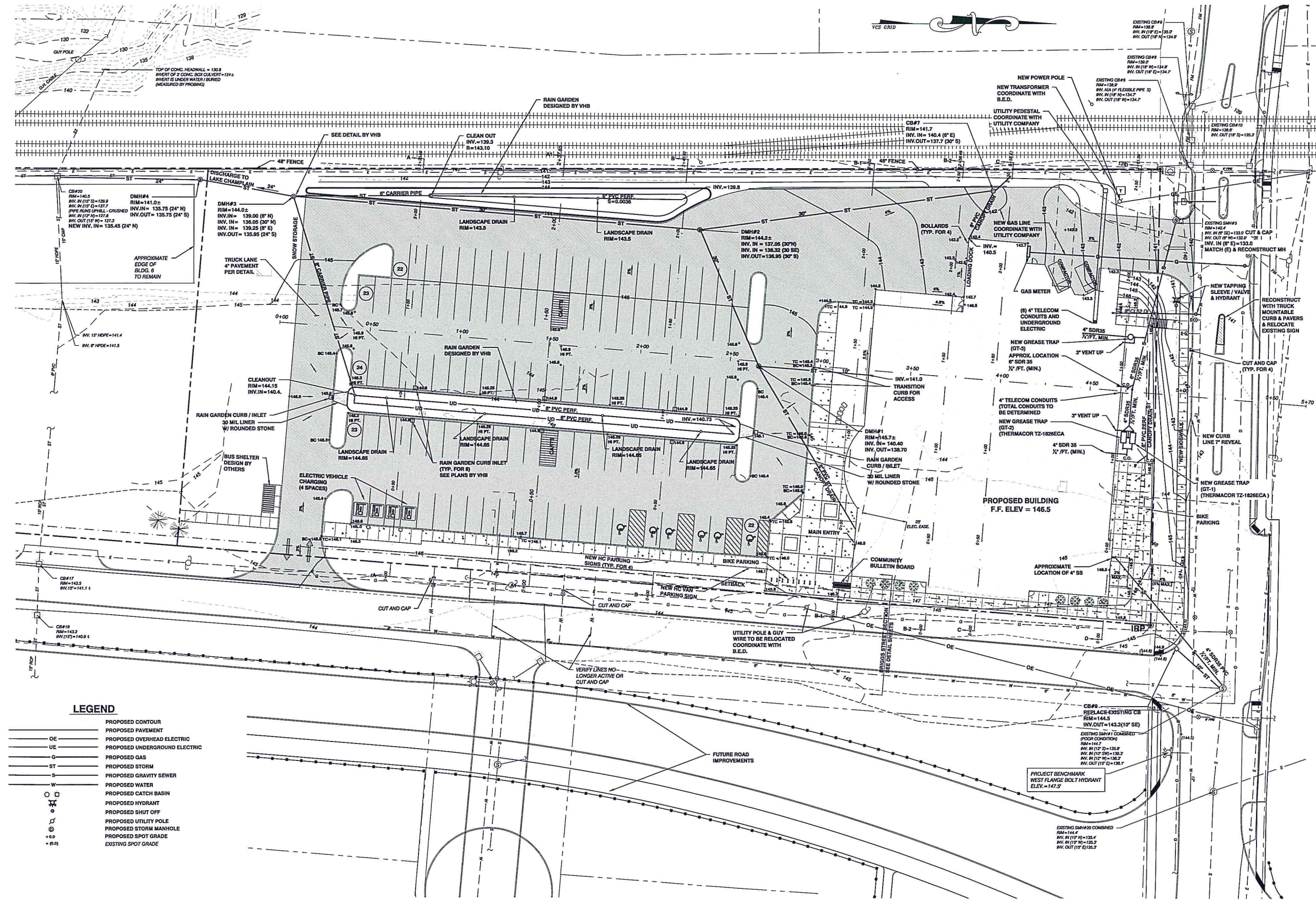
SAV

Design: 02/22/16  
Development: 04/13/2016  
Permit Plans: 04/22/2016

PROPOSED  
OVERALL  
SITE PLAN

C2.0





DEPARTMENT OF  
PLANNING & ZONING

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APR 22 2016

PROGRESS SET  
NOT FOR  
CONSTRUCTION



SITE ENGINEER:



CITY ENGINEERING ASSOCIATES, INC.

CITY  
MARKET  
SOUTH END

Burlington,  
Vermont

PROJECT NO.	15253
DATE	04/06/16
SCALE	1" = 20'
DRAWN BY	MAB
CHECKED BY	SAV
DESIGNED BY	SAV
SCHEMATIC DESIGN	02/13/2016
DESIGN	04/13/2016
DEVELOPMENT	
PERMIT PLANS	04/22/2016

PROPOSED  
PARTIAL  
SITE PLAN

SHEET NO.  
C2.1





VIEW: EAST FACADE FROM BRIGGS STREET (Buildings 7&8)



VIEW: EAST ELEVATION FROM BRIGGS STREET (Building 7)



VIEW: LOOKING SOUTH FROM FLYNN AVE (Buildings 3,4&5)



VIEW: EAST ELEVATION FROM BRIGGS STREET (Buildings 6&8)



VIEW: EAST ELEVATION FROM BRIGGS STREET (Building 10)



VIEW: NORTH ELEVATION FROM FLYNN AVE (Buildings 1&6)



VIEW: EAST ELEVATION FROM BRIGGS STREET (Buildings 2&3)



VIEW: WEST ELEVATION FROM FLYNN AVE (Buildings 1&6)



VIEW: EAST ELEVATION FROM BRIGGS STREET (Buildings 4&5)

PROGRESS SET  
NOT FOR  
CONSTRUCTION



81 Maple Street • Burlington VT 05401  
802.893.4844 • www.fff.com  
Architecture • Planning • Interiors



121 CANTON STREET  
BURLINGTON, VT 05401  
802.893.3338  
Fax: 802.893.2400  
www.segroup.com

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APR 22 2016  
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CITY MARKET  
SOUTH END

Burlington,  
Vermont

PROJECT NO: A1536.00	
CREATION DATE: 04/22/16	SCALE: N/A
DRAWN BY: TH	CHECKED BY: MW
DATE LOG:	
Schematic Design	02/12/2016
Design Development	04/16/2016
Permit Plans	04/22/2016

SHEET CONTENTS:  
  
EXISTING  
CONDITIONS  
SITE PHOTOS

SHEET NO:  
**LA-001**



CITY OF BURLINGTON ZONING  
Zoning District: Enterprise - Light Manufacturing (E-LM)  
Parking District: Shared Use (SU)

Use	Min. Parking	Max. Parking
Grocery Store	2 per 1,000 gsf	3.75 per 1,000 gsf

Maximum Parking Requirements (Refer to Table 5.1.8-1)  
The total number of parking spaces provided in all parking districts shall not be more than 125% of the minimum number of spaces required for the Neighborhood Parking District for any given use.

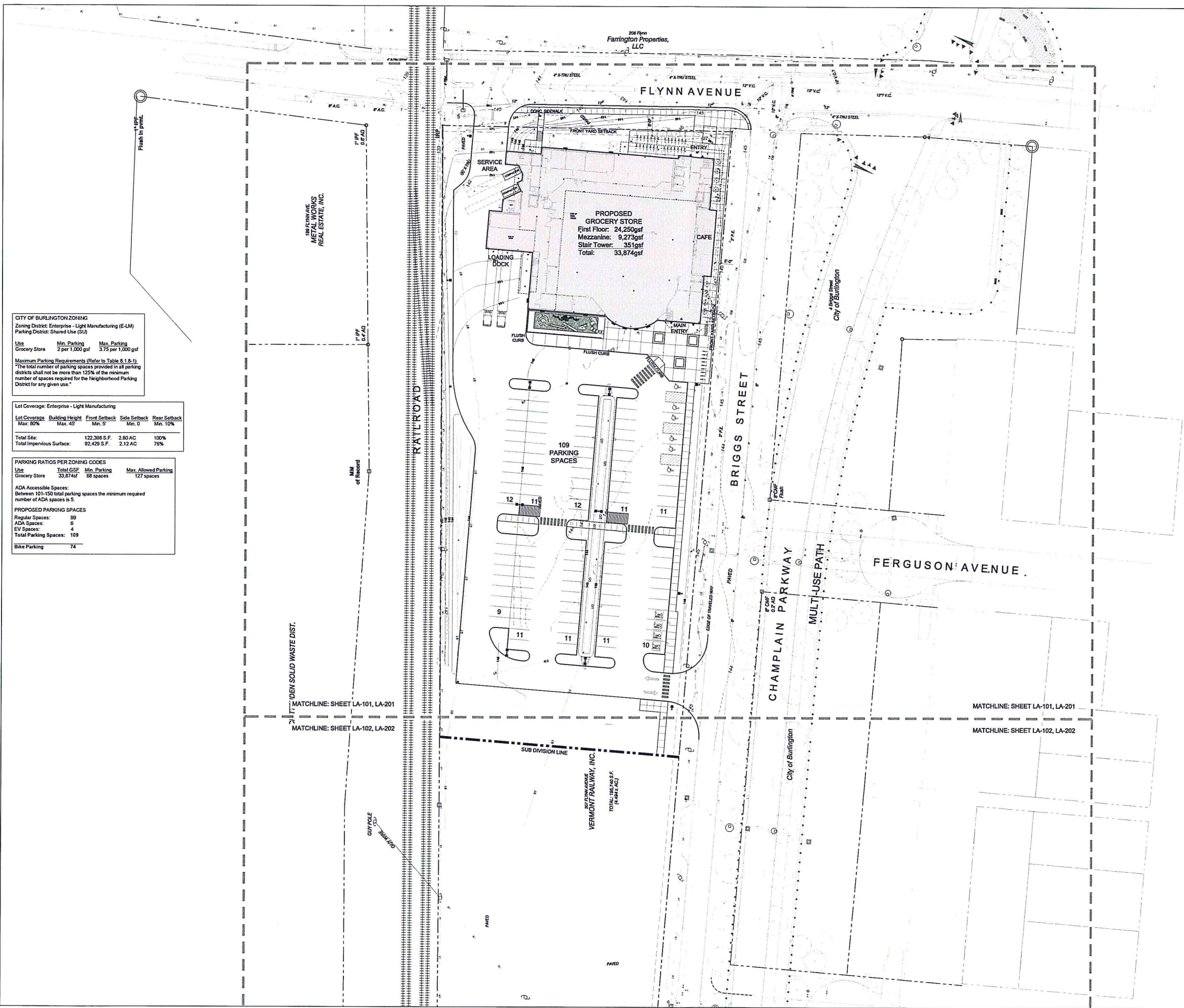
Lot Coverage: Enterprise - Light Manufacturing				
Lot Coverage	Building Height	Front Setback	Side Setback	Rear Setback
Max. 80%	Max. 45'	Min. 5'	Min. 0'	Min. 10%
Total Site:	122,388 S.F.	2.80 AC	100%	
Total Impervious Surface:	92,429 S.F.	2.12 AC	76%	

PARKING RATIOS PER ZONING CODES			
Use	Total GSF	Min. Parking	Max. Allowed Parking
Grocery Store	33,874sf	68 spaces	127 spaces

ADA Accessible Spaces:  
Between 101-150 total parking spaces the minimum required number of ADA spaces is 5.

PROPOSED PARKING SPACES

Regular Spaces:	99
ADA Spaces:	6
EV Spaces:	4
Total Parking Spaces:	109
Bike Parking	74



PROGRESS SET  
NOT FOR  
CONSTRUCTION

**RECEIVED**  
JUN 17 2016  
DEPARTMENT OF  
PLANNING & ZONING

CITY MARKET  
SOUTH END

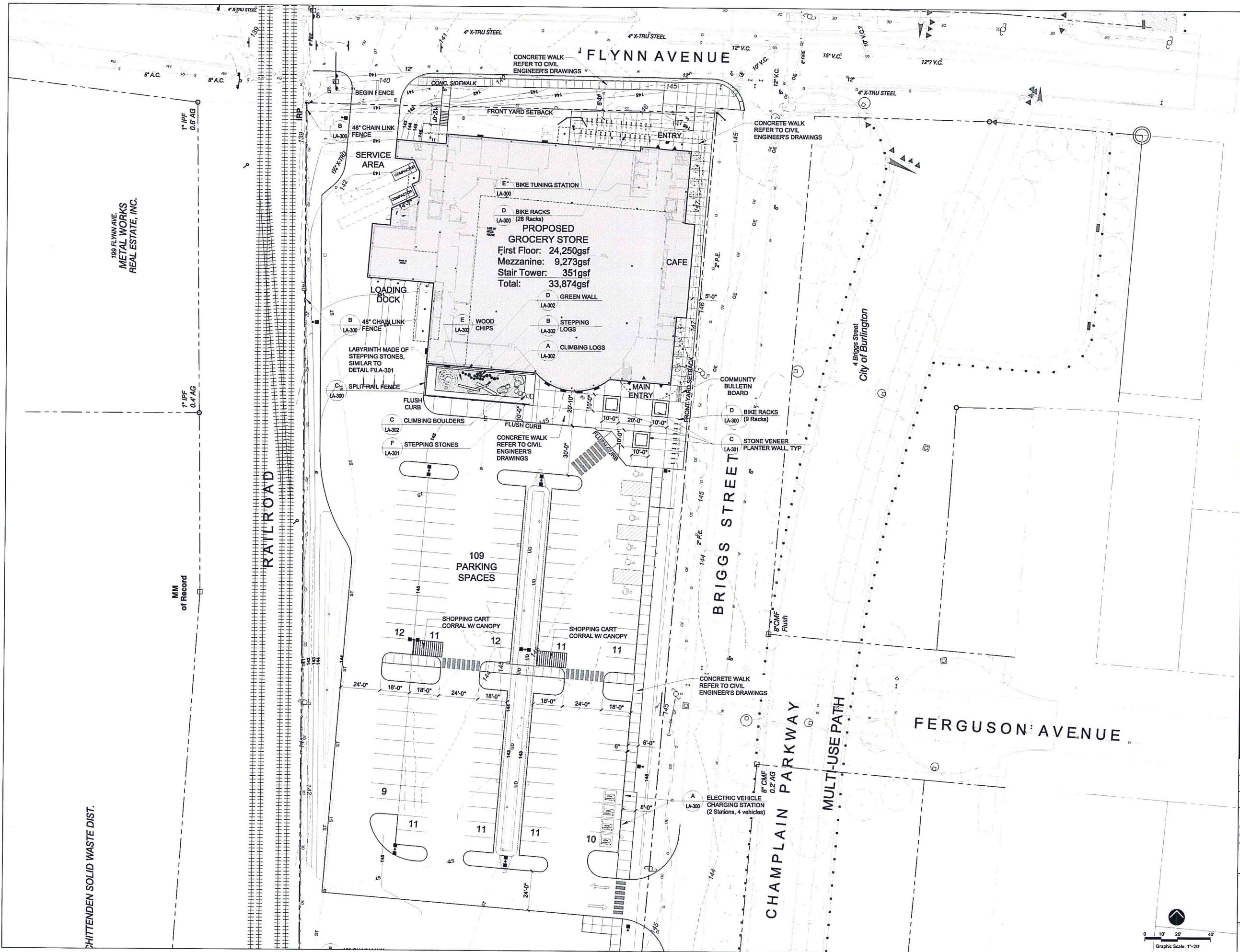
Burlington,  
Vermont

PROJECT NO:	A1536.00
DATE:	04/22/16
SCALE:	1"=30'
DESIGNED BY:	TH
CHECKED BY:	MW
DATE LOG:	02/12/2014
DATE LOG:	04/15/2014
DATE LOG:	04/22/2014
DATE LOG:	04/22/2014

LAYOUT PLAN

LA-100





PROGRESS SET  
NOT FOR  
CONSTRUCTION

ff

ff Associates, Inc.  
111 Maple Street, Burlington, VT 05401  
802-488-4844 • www.ffassociates.com  
Landscape Architecture and Planning

SE GROUP

SE Group, Inc.  
111 G. A. Brown Street, Burlington, VT 05401  
802-488-4844 • www.segroup.com

CITY MARKET  
SOUTH END

Burlington,  
Vermont

PROJECT NO.  
A1536.00

DATE  
04/22/16

SCALE  
1"=20'

DESIGNED BY  
MW

DESIGNED BY  
Submittal Design 02/15/2016  
Design Development 04/15/2016  
Permit Plans 04/22/2016  
Permit Plans 04/15/2016

LAYOUT PLAN

LA-101

RECEIVED  
JUN 17 2016

DEPARTMENT OF  
PLANNING & ZONING



Foster R.E.  
Development,  
Inc.  
V. 206 P. 281

e Pl.  
king Co.  
174

CHITTENDEN SOLID WASTE DIS

GUY POLE  
GUY WIRE

A. & M. Boisvert  
V. 736 P. 108

A  
LA-301  
48" CHAIN LINK  
FENCE

IRP  
1" IPF  
1.3' AG  
(Not Used)

BEGIN FENCE

A  
LA-301  
48" CHAIN LINK  
FENCE

B  
LA-301  
48" CHAIN LINK  
FENCE

D  
LA-301  
LANDSCAPE  
BOULDER, TYP.

SUB DIVISION LINE

207 FLYNN AVENUE  
VERMONT RAILWAY, INC.

TOTAL: 195,740 S.F.  
(4.494± AC.)

CONCRETE WALK  
REFER TO CIVIL  
ENGINEER'S DRAWINGS

BUS STOP

24'-0"

1" IPF, 0.1' BG

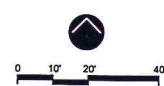
2" IPF 0.1' BG  
0.3' ELEV.  
(Not Used)

City of Burlington  
V. 736 P. 108

8" CMF  
0.2' BG

CHAMPLAIN

City of Burlington



DEPARTMENT OF  
PLANNING & ZONING

CITY MARKET  
SOUTH END

Burlington,  
Vermont

PROJECT NO.	A1536.00
DATE	04/22/16 AS NOTED
SCALE	MW
DESIGNED BY	02/12/2016
DESIGNED BY	04/13/2016
DESIGNED BY	04/22/2016

LAYOUT PLAN

LA-102

PROGRESS SET  
NOT FOR  
CONSTRUCTION



Freeman | French | Freeman  
81 High Street - Burlington VT 05401  
802-488-0800 - www.fff.com  
Architecture | Planning | Interiors



SE GROUP  
Landscape Architects and Planners  
301 Church Street  
Burlington, VT 05401  
Tel: 802.482.0080  
Fax: 802.482.3440  
www.segroup.com

RECEIVED  
APR 22 2016



NOTES: 1. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES FOUND IN THE PLANTING PLANS. IF ANY DISCREPANCIES ARE FOUND, LANDSCAPE ARCHITECT SHOULD BE NOTIFIED IMMEDIATELY.  
2. FINAL LAYOUT AND PLACEMENT OF ALL PLANT MATERIAL TO BE APPROVED BY THE LANDSCAPE ARCHITECT.  
3. CONTRACTOR IS RESPONSIBLE TO SEED ALL DISTURBED AREAS ACCORDING TO THE SPECIFICATIONS AND LAWN DETAIL C1A-205  
4. REFER TO PLANTING DETAILS FOR PROPER PLANT MATERIAL INSTALLATION REQUIREMENTS.  
5. ALL TREE, SHRUB AND PERENNIAL PLANTING BEDS ARE TO BE CONTINUOUS, COMPLETELY DUG OUT AND BACKFILLED WITH THE PROPER PLANTING BED BACKFILL MATERIAL TO DEPTH SPECIFIED IN DETAILS AND SOIL PREPARATION SPECIFICATION.  
6. IF THE LANDSCAPE CONTRACTOR PROPOSES A SUBSTITUTE PLANT SPECIES, ALL SUBSTITUTES NEED TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO ORDERING.  
7. FOR SOIL BACKFILL IN THE RAIN GARDEN BASINS, REFER TO CIVIL DRAWINGS, SPECIFICATIONS AND DETAILS.  
8. FOR SOIL BACKFILL ON THE SIDE SLOPES OF THE RAIN GARDEN BASINS, REFER TO SOIL PREPARATION SPECIFICATION FOR LANDSCAPE BACK FILL FOR SHRUB AND PERENNIAL BEDS.

PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS	MATURE CANOPY DIMS.
DECIDUOUS TREES:						
AF	Acer freemanii 'Sienna'	Sienna Glen Red Maple	12	2.5-3" Cal.	B&B, 6' Branching Ht. (Min.)	50' Tall x 30" Diameter
AR	Acer rubrum 'Scarlet Sentinel'	Red Maple	10	2.5-3" Cal.	B&B, 6' Branching Ht. (Min.)	45' Tall x 25" Diameter
GT	Gleditsia triacanthos 'Shade Master'	Honeylocust	14	2.5-3" Cal.	B&B, 6' Branching Ht. (Min.)	45' Tall x 35" Diameter
UA	Ulmus americana 'Princeton'	Princeton American Elm	4	2.5-3" Cal.	B&B, 6' Branching Ht. (Min.)	60' Tall x 40" Diameter
ZS	Zelkova serrata 'Green Vase'	Japanese Zelkova	12	2.5-3" Cal.	B&B, 6' Branching Ht. (Min.)	65' Tall x 45" Diameter
EVERGREEN TREES:						
PGA	Picea glauca	White Spruce	7	4-6" Tall	B&B, Full	40' Tall x 20" Diameter
PGb	Picea glauca	White Spruce	2	8-10" Tall	B&B, Full	40' Tall x 20" Diameter
SHRUBS:						
CS	Cornus sericea 'Isanti'	Red-osier Dogwood	34	24-30" Wide	C.G., Plant 30" o.c.	
HA	Hydrangea arborescens 'Incrediball'	Incrediball Hydrangea	136	24-30" Wide	C.G., Plant 30" o.c.	
IJ	Ilex verticillata 'Jim Dandy'	Winterberry Holly	7	24-30" Wide	C.G., Plant 30" o.c.	
IV	Ilex verticillata 'Red Sprite'	Winterberry Holly	35	24-30" Wide	C.G., Plant 30" o.c.	
SB	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	60	24-30" Wide	C.G., Plant 30" o.c.	
SL	Spiraea latifolia	Meadowsweet	51	24-30" Wide	C.G., Plant 30" o.c.	
SN	Spiraea nipponica 'Snowmound'	Snowmound Spiraea	105	24-30" Wide	C.G., Plant 30" o.c.	
SD	Salix discolor	Pussy Willow	34	24-30" Wide	C.G., Plant 30" o.c.	
PERENNIALS:						
AN	Aster nova-angliae	New England Aster	27	1 Gal.	C.G. Plant 18" o.c.	
CA	Calamagrostis acutiflora 'Karl Forester'	Feather Reed Grass	123	2 Gal.	C.G. Plant 24" o.c.	
CM	Chrysanthemum maximum 'Shasta'	Shasta Daisy	25	1 Gal.	C.G. Plant 18" o.c.	
DC	Deschampsia cespitosa 'Schottland'	Tufted Hair Grass	23	1 Gal.	C.G. Plant 18" o.c.	
EP	Eupatorium purpureum	Joe-Pye Weed	27	1 Gal.	C.G. Plant 18" o.c.	
HS	Hemerocallis 'Stella Doro'	Stella Dora Daylily	1062	1 Gal.	C.G. Plant 18" o.c.	
MS	Miscanthus sinensis 'Gracillimus'	Maiden Grass	18	2 Gal.	C.G. Plant 36" o.c.	
SH	Sporobolus heterolepis	Prairie Dropseed	20	2 Gal.	C.G. Plant 24" o.c.	
RF	Rudbeckia fulgida 'Goldstrum'	Blackeyed Susan	19	1 Gal.	C.G. Plant 18" o.c.	
SS	Salvia x superba 'May Night'	May Night Salvia	17	1 Gal.	C.G. Plant 18" o.c.	
ST	Sedum x telephium 'Autumn Joy'	Autumn Joy Sedum	8	1 Gal.	C.G. Plant 18" o.c.	

RAIN GARDEN PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
PERENNIALS:					
AA	Acorus americanus	Sweetflag	145	1 Gal.	C.G. Plant 18" o.c.
AS	Asclepias incarnata	Swamp Milkweed	150	1 Gal.	C.G. Plant 18" o.c.
CC	Carex comosa	Long-Hair Sedge	150	1 Gal.	C.G. Plant 18" o.c.
CG	Chelone glabra	Turtlehead	145	1 Gal.	C.G. Plant 18" o.c.
CV	Carex vulpinoidea	Fox Sedge	145	1 Gal.	C.G. Plant 18" o.c.
EP	Eupatorium purpureum	Joe-Pye Weed	145	1 Gal.	C.G. Plant 18" o.c.
IR	Iris versicolor	Hartweil Blueflag	145	1 Gal.	C.G. Plant 18" o.c.
JE	Juncus effusus	Soft Rush	145	1 Gal.	C.G. Plant 18" o.c.
LS	Lobelia siphilitica	Great Blue Lobelia	145	1 Gal.	C.G. Plant 18" o.c.
VH	Verbena hastata	Blue Vervain	145	1 Gal.	C.G. Plant 18" o.c.

1" DEN SOLID WASTE DIST.

MATCHLINE: SHEET LA-101, LA-201

MATCHLINE: SHEET LA-102, LA-202

GUY POLE  
20' TALL  
20' TALL  
20' TALL

VERMONT RAILWAY, INC.  
TOTAL 188,140 S.F.  
(188,140 S.F.)

SUB DIVISION LINE

PAVED

PAVED

208 Flynn  
Farrington Properties,  
LLC

FLYNN AVENUE

PROPOSED  
GROCERY STORE  
First Floor: 24,250gsf  
Mezzanine: 9,273gsf  
Stair Tower: 354gsf  
Total: 33,874gsf

LOADING DOCK

109  
PARKING  
SPACES

BRIGGS STREET

CHAMPLAIN PARKWAY

MULTI-USE PATH

FERGUSON AVENUE

MATCHLINE: SHEET LA-101, LA-201

MATCHLINE: SHEET LA-102, LA-202

Graphic Scale: 1"=30'

PROGRESS SET  
NOT FOR  
CONSTRUCTION

RECEIVED  
JUN 17 2016  
DEPARTMENT OF  
PLANNING & ZONING

CITY MARKET  
SOUTH END

Burlington,  
Vermont

PROJECT NO.  
A1536.00  
DATE: 04/22/16  
SCALE: 1"=30'  
DRAWN BY: MW  
CHECKED BY: MW  
SUBMITTAL DATE: 05/12/2016  
DESIGN DEVELOPMENT: 04/22/2016  
PERMIT PLAN: 04/22/2016  
PERMIT PLAN: 04/22/2016

PLANTING PLAN

LA-200



199 FLYNN AVE.  
METAL WORKS  
REAL ESTATE, INC.

**MM  
of Record**

RAILROAD

FLYNN AVENUE

BRIGGS STREET

CHAMPLAIN PARKWAY

MULTI-USE PATH

FERGUSON: AVENUE

PROGRESS SET  
NOT FOR  
CONSTRUCTION



81 Maple Street • Burlington VT 05401  
800.224.2244 • [www.frenchfreeman.com](http://www.frenchfreeman.com)



131 Church Street  
Burlington, VT 05401  
tel: 802.862.0098  
fax: 802.865.2440  
www.bcggroup.com

RECEIVED  
JUN 17 2016

JUN 17 2016

DEPARTMENT OF  
PLANNING & ZONING

CITY MARKET  
SOUTH END

**Burlington,  
Vermont**

**A1536.00**

ORIGINATOR DATE:	SCALE:
04/22/16	1"=20'

DR. NAME:	CHIEF OF DR.
	MW

Full Log:	
Submarine Division	00 000 00000

Design Development	04/15/2018
--------------------	------------

Permit Plans	04/22/2018
Revised Plans	04/17/2018

[illegible]

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SHEET CONTENTS:

### PLANTING PLAN

### PLANTING PLAN

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(SHEET NO.):

1 2 3 4 5

LA-201

--	--



Foster R.E.  
Development,  
Inc.  
V. 206 P. 281

PI.  
ing Co.  
74

CHITTENDEN SOLID WASTE DIST.

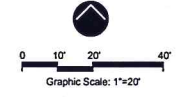


A. & M. Boisvert  
V. 736 P. 108

City of Burlington  
V. 736 P. 108

CHAMPLAIN  
City of Burlington

VERMONT RAILWAY, INC.  
207 ELKVIEW AVENUE  
TOTAL: 195,740 S.F.  
(4.484 ± AC.)



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NOT FOR  
CONSTRUCTION

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Freeman | Branch | Freeman  
81 Maple Street • Burlington VT 05401  
802-684-0344 • www.fbf.com  
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**SE GROUP**  
Landscape Architects and Planners  
100 Chaffin Street  
Burlington, VT 05401  
Tel: 802-882-0500  
Fax: 802-882-2442  
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PLANNING & ZONING

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APR 22 2016

CITY MARKET SOUTH END	
Burlington, Vermont	
PROJECT NO. A1536.00	
DATE: 04/22/16	SCALE: 1"=20'
DRAWN BY: --	CHECKED BY: MW
DESIGNED BY: --	DATE: 02/12/2016
DESIGN DEVELOPMENT: 04/13/2016	PERIOD PLAN: 04/22/2016

PLANTING PLAN

LA-202



APR 22 2016

fff



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Landscape, Architecture, and Planning

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LET NO. \_\_\_\_\_

**PROPOSED  
GROCERY STORE**

First Floor:	24,250gsf
Mezzanine:	9,273gsf
Stair Tower:	351gsf
<b>Total:</b>	<b>33,874gsf</b>



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Burlington, VT 05401  
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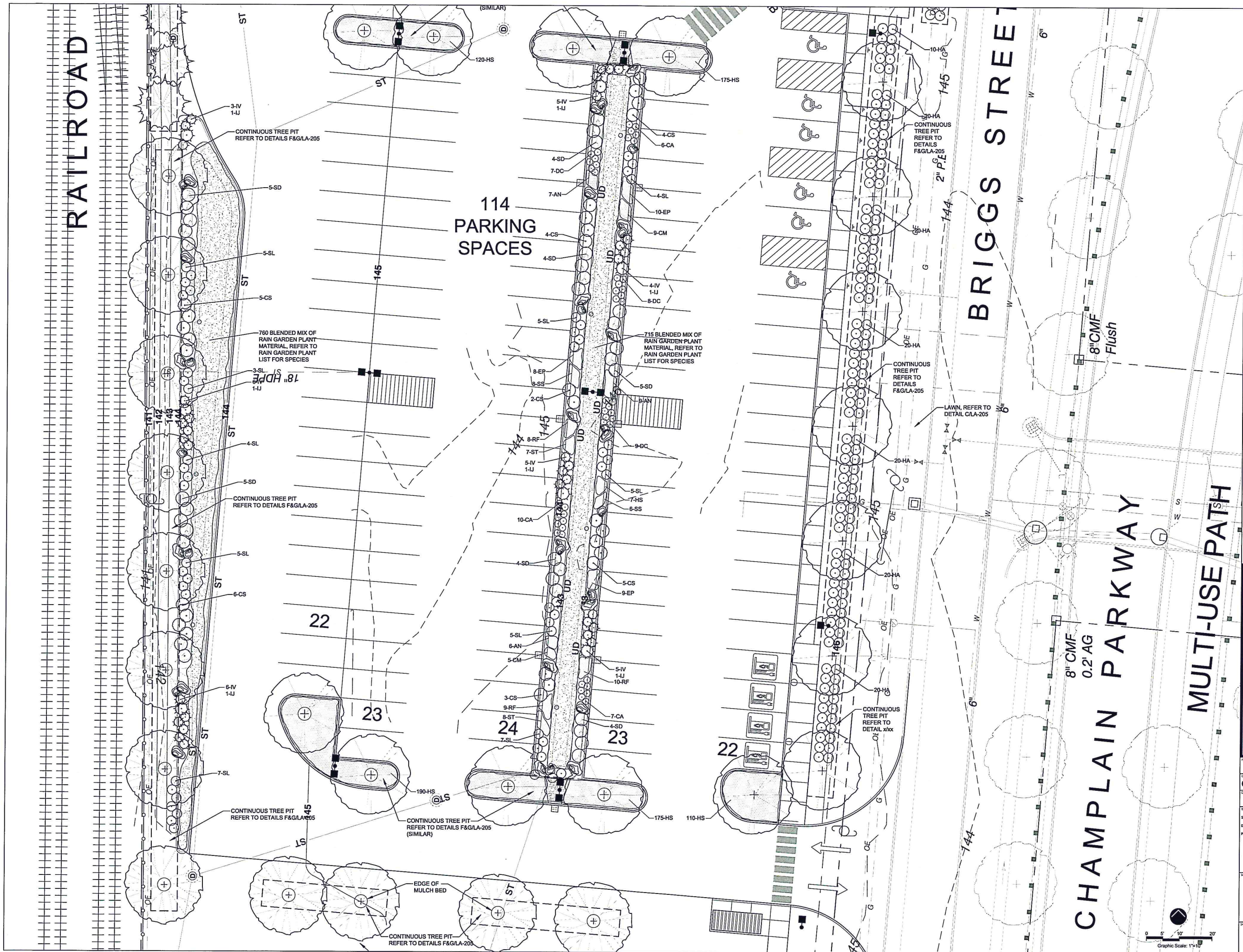
CITY MARKET  
SOUTH END

Burlington,  
Vermont

PROJECT NO: A1536.00  
DATE: 04/22/16 SCALE: 1"=10'  
DRAWN BY: MW  
CHECKED BY: MW  
DESIGN: 02/12/2016  
DESIGN DEVELOPMENT: 04/15/2016  
PERMIT PLANS: 04/22/2016

PLANTING PLAN

LA-204





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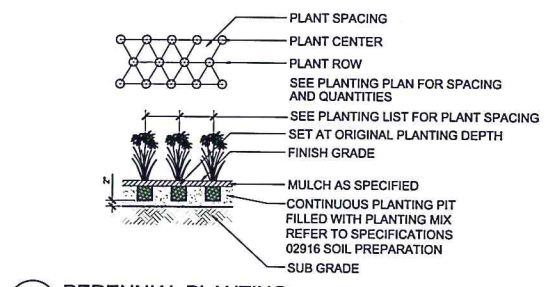
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SOUTH END

Burlington,  
Vermont

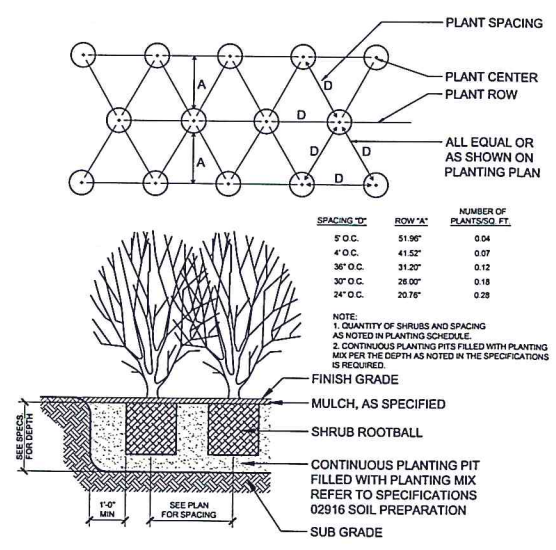
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DATE 04/22/16 AS NOTED  
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CHECKED BY:  
SHEET 100  
Schematic Design 02/12/2016  
Design Development 04/15/2016  
Final Plans 04/22/2016

PLANTING DETAILS

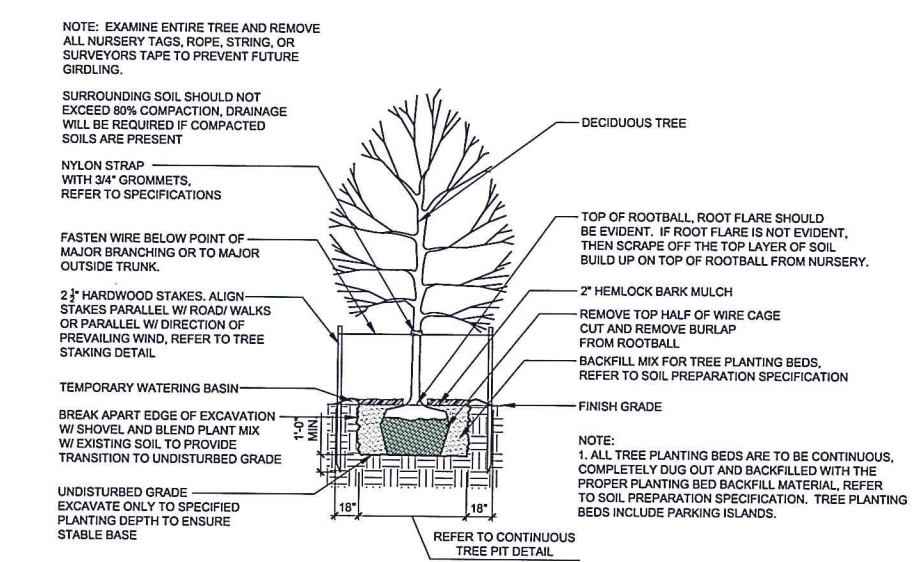
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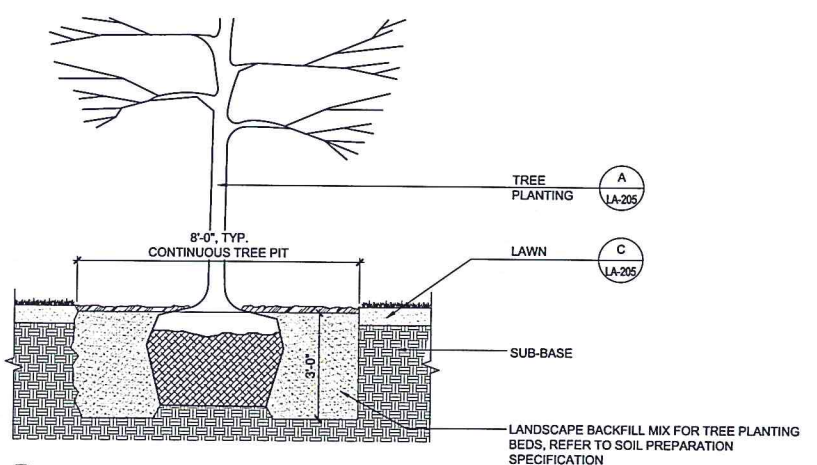
E PERENNIAL PLANTING  
SCALE: 1/2" = 1'-0"



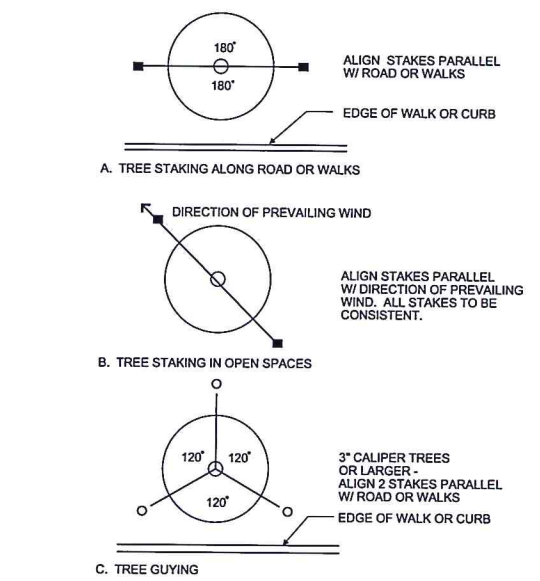
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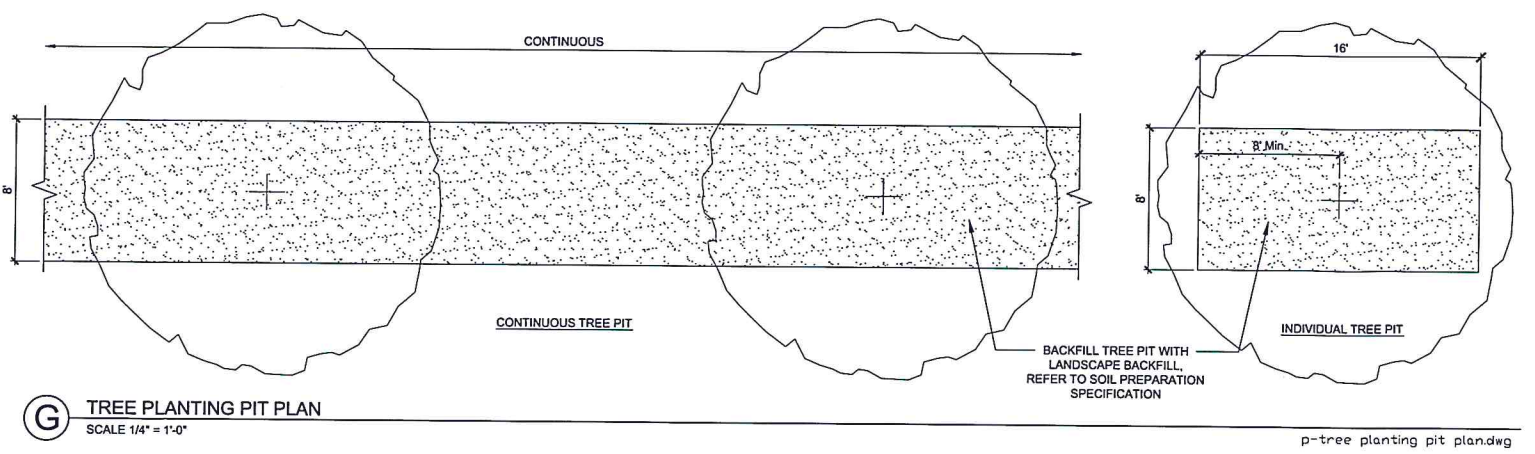
A TREE PLANTING  
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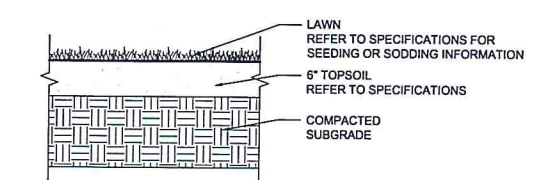
F CONTINUOUS TREE PLANTING PIT  
SCALE 1/2" = 1'-0"



B TREE STAKING LAYOUT  
NO SCALE



G TREE PLANTING PIT PLAN  
SCALE 1/4" = 1'-0"



C LAWN  
SCALE 1" = 1'-0"



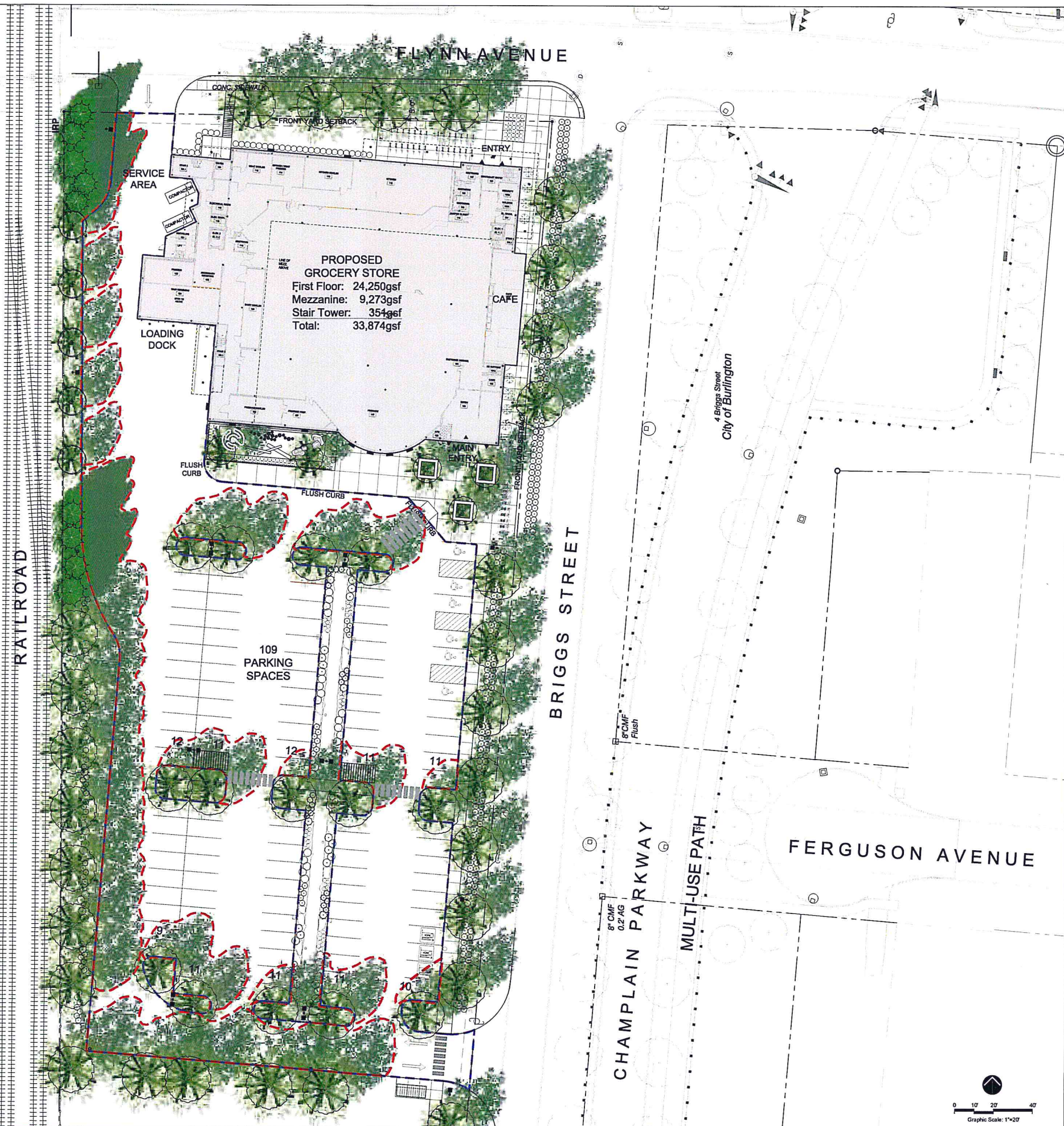
# STATISTICAL AREA SUMMARY

## Parking Lot Shadow Study

Parking / Maneuvering Areas	56,413sf
Shadow Contribution By Trees	19,601sf
Percent Shade Coverage	19,601/56,413 = 34.7%

### Assumptions:

1. Modeled on August 15th at 2:00pm for the latitude and longitude for Burlington, VT.
2. Parking lot trees are modeled at mature heights and widths.



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CITY MARKET  
SOUTH END

Burlington,  
Vermont

PROJECT NO.	A1536.00
DATE	04/22/16
SCALE	1"=20'
DESIGNED BY	MW
CHECKED BY	
DATE	
DATE	
DATE	
DATE	

PLANTING PLAN  
SHADOW STUDY

LA-206







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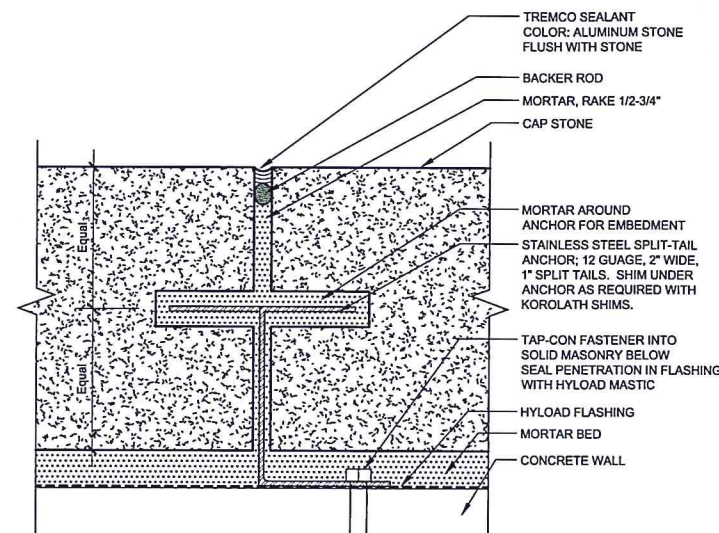
CITY MARKET  
SOUTH END

Burlington,  
Vermont

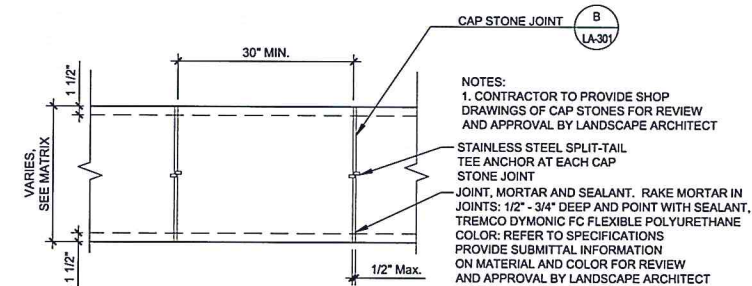
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DATE: 04/22/16 AS NOTED  
DRAWN BY: MW  
CHECKED BY:  
DESIGN: 02/12/2016  
DESIGN DEVELOPMENT: 04/15/2016  
PERMIT PLANS: 04/22/2016

SHEET CONTENTS  
LANDSCAPE DETAILS

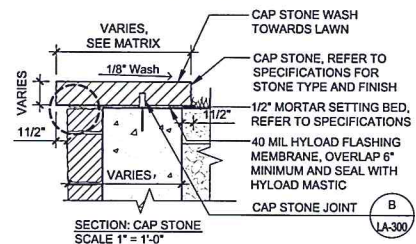
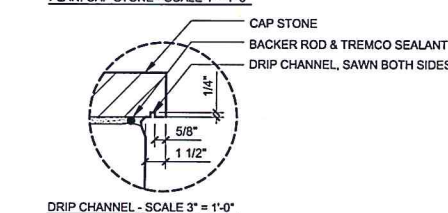
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LA-301



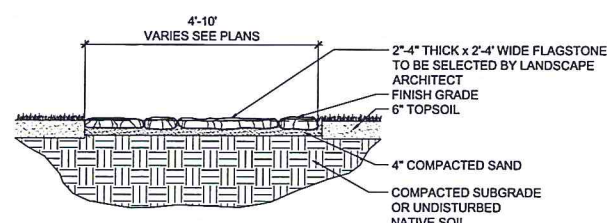
**B** CAP STONE JOINT  
SCALE 1\"/>



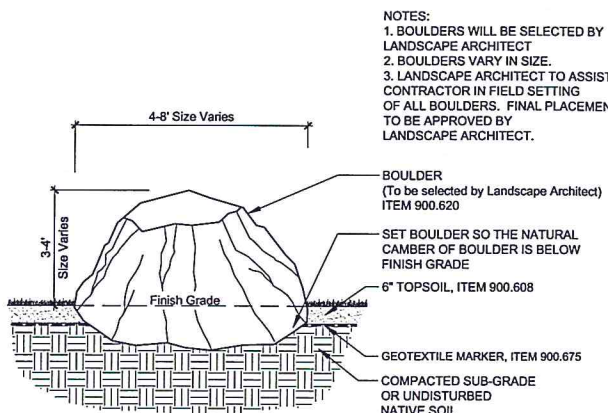
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SCALE: 1\"/>



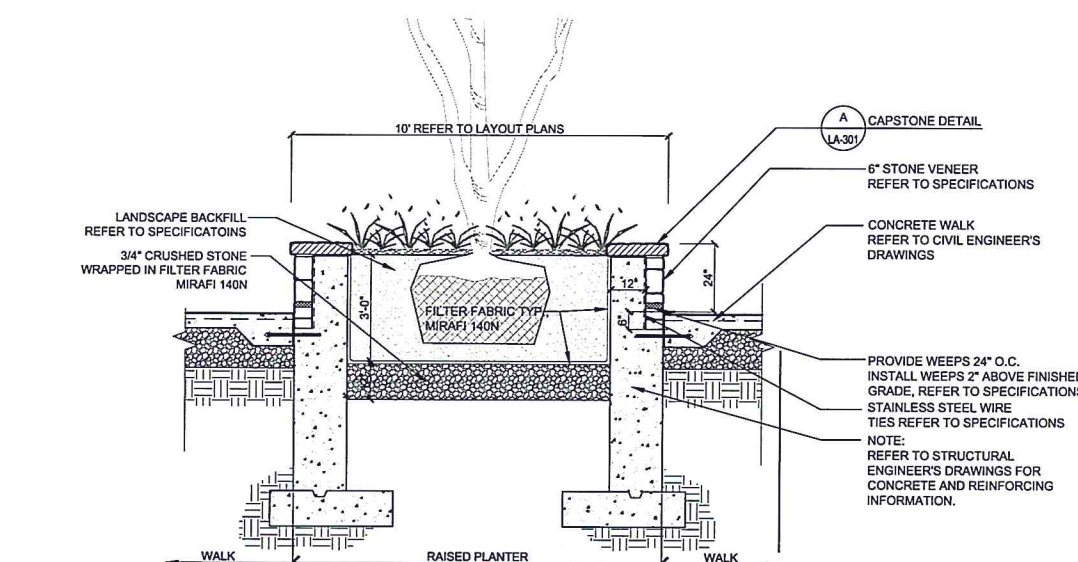
**C** CAP STONE  
SCALE: 1\"/>



**E** STEPPING STONES  
SCALE 1/2\"/>

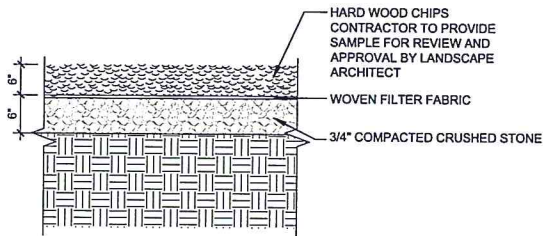


**D** LANDSCAPE BOULDER  
SCALE 1/2\"/>



**C** SECTION: STONE VENEER PLANTER WALL  
SCALE 1/2\"/>





**E** WOOD CHIPS  
SCALE 1" = 1'-0" d-wood chips.dwg

- Notes:
1. DIAMETER OF LOGS WILL VARY (18"-30")
  2. EXPOSED HEIGHT OF LOGS WILL VARY (10-30")
  3. USE HARDWOOD LOGS WITH BARK REMOVED
  4. LOGS WILL BE SET INTO STONE SUB-BASE



**B** STEPPING LOGS  
SCALE: NTS d-step logs.dwg

- Notes:
1. CLIMBING LOGS WILL VARY IN DIAMETER (+/-10"-24")
  2. CLIMBING LOGS WILL VARY IN LENGTH (+/-8'-13')
  3. LOGS ARE EXPECTED TO BE IRREGULAR IN SHAPE, OFFERING VARIETY
  4. ALL LOGS WILL BE SELECTED BY LANDSCAPE ARCHITECT



**A** CLIMBING LOGS  
SCALE: NTS d-climbing logs.dwg

- Notes:
1. HEIGHT IS APPROXIMATELY 10' TALL
  2. VERTICAL AND HORIZONTAL COMPONENTS WILL BE MADE FROM ROUGH CUT CEDAR LOGS
  3. WALL WILL BE FREE STANDING, POSTS WILL BE BURIED IN THE GROUND SURROUNDED BY CONCRETE.
  4. ALL WOOD COMPONENTS WILL BE LEFT NATURAL WOOD, NO FINISH
  5. ALL HARDWARE SHALL BE STAINLESS STEEL



**D** GREEN WALL  
SCALE: NTS d-green wall.dwg

- Notes:
1. BOULDER LENGTHS WILL VARY BETWEEN 5'-7'
  2. BOULDER WIDTHS WILL VARY BETWEEN 4'-6'
  3. EXPOSED HEIGHT OF BOULDERS WILL VARY
  4. BOULDERS WILL BE SET INTO THE STON SUB-BASE
  5. ALL BOULDERS TO BE SELECTED BY LANDSCAPE ARCHITECT



**C** CLIMBING BOULDERS  
SCALE: NTS d-climbing boulders.dwg

PROGRESS SET  
NOT FOR  
CONSTRUCTION



DEPARTMENT OF  
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CITY MARKET  
SOUTH END

Burlington,  
Vermont

PROJECT NO.	A1536.00
ORGANIZATION DATE	04/22/16 AS NOTED
DRAWN BY:	CHKD BY: MW
SCALE LOG	
Schematic Design	02/12/2016
Design Development	04/15/2016
Permit Plans	04/22/2016

LANDSCAPE DETAILS

SHEET NO.  
LA-302

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APR 22 2016



# FIXTURE AND POLE SPECIFICATIONS

<p>■ Fixture A Manufacturer: Kim Lighting Fixture: Altitude - ALT96 Configuration: 1SA Optics: Type 3 Lamp: 96watt LED - 4,000K Milliamps: 350ma Lens: Flat Lens - FGL Color: Black Options: PRA20-4188</p>	<p>■ Fixture B Manufacturer: Kim Lighting Fixture: Altitude - ALT96 Configuration: 1SA Optics: Type 3 Lamp: 96watt LED - 4,000K Milliamps: 350ma Lens: Flat Lens - FGL Color: Black Options: PRA17.5-4188* (Modified)</p>
<p>Note: Poles are mounted on 30" raised footings, so final mounting height is 20'.</p>	
<p>■ Fixture C Manufacturer: Kim Lighting Fixture: Altitude - ALT96 Configuration: 2SB Optics: Type V Lamp: 96watt LED - 4,000K Milliamps: 350ma Lens: Flat Lens - FGL Color: Black Options: PRA17.5-4188* (Modified)</p>	<p>■ Fixture D Manufacturer: Gardco Fixture: 101L Wall Sconce Optics: Type IV Wattage: 35watt LED - 4,000K Color: Black Options: Wall Mounted - 14' Mounting Height</p>
<p>Note: Poles are mounted on 30" raised footings, so final mounting height is 20'.</p>	
<p>■ Fixture E Manufacturer: Prescolite Fixture: 8LFLED5G4 - 8" LED Downlight Optics: Type V Wattage: 1100 Lumen - 4,000K Color: Black Options: Recessed Canopy Light +/-14' Mounting Height</p>	<p>▲ Fixture F Manufacturer: Modern Forms Fixture: Urban - WS-W1116 Optics: Top Lens Wattage: 16watt Color: Black Options: Wall Light +/-8' Mounting Height</p>

## ISO-CONTOUR KEY

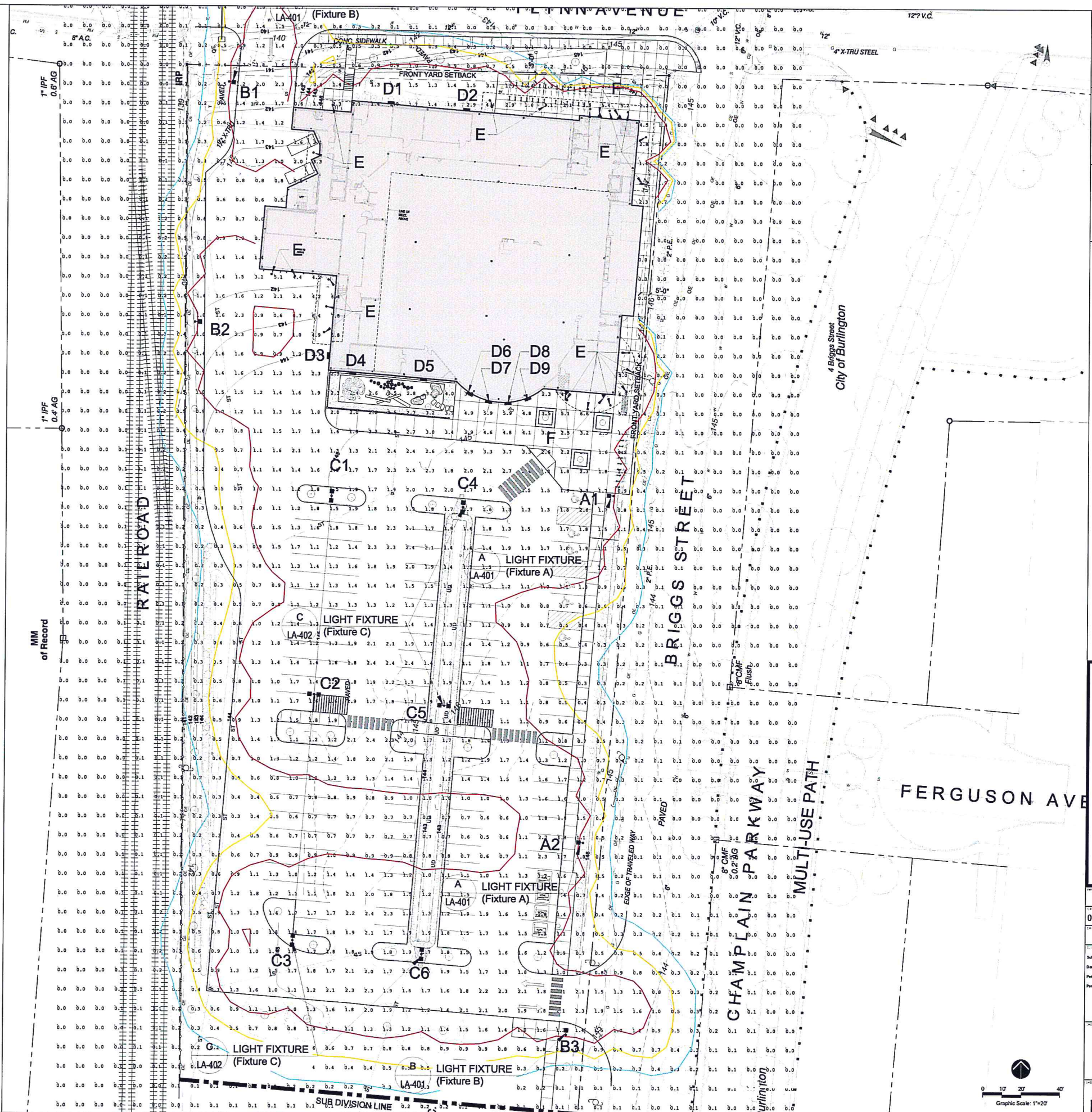
ISO-CONTOUR	FOOTCANDLE VALUE
1.00	
0.50	
0.25	

## STATISTICAL AREA SUMMARY

Grid Type: Horizontal Illuminance at finish grade.					
Grid Units: Footcandles					
Statistical Area	Avg	Max	Min	Avg/Min	Max/Min
1 Parking Lot and Service Area	1.44	6.40	0.30	4.8	21.33

## Disclaimer:

This analysis was calculated in accordance with published IES calculation methods and procedures with the data as entered by the user. This analysis is based on tested IES photometric data, light loss factors as defined in the LLF value. This analysis is a mathematical model of real life situations, and it can be only as accurate as the model itself. Calculated values may vary from actual measurements in certain situations. SE Group is not responsible for light output deviations due to lamp/ballast combinations or other variables.



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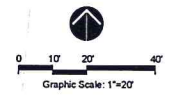
CITY MARKET  
SOUTH END

Burlington,  
Vermont

PROJECT NO.	A1536.00
DATE	04/22/16
SCALE	1"=20'
DESIGNER	MW
DATE	02/12/16
DATE	04/22/16
DATE	04/22/16
DATE	04/22/16

LIGHTING PLAN

LA-400





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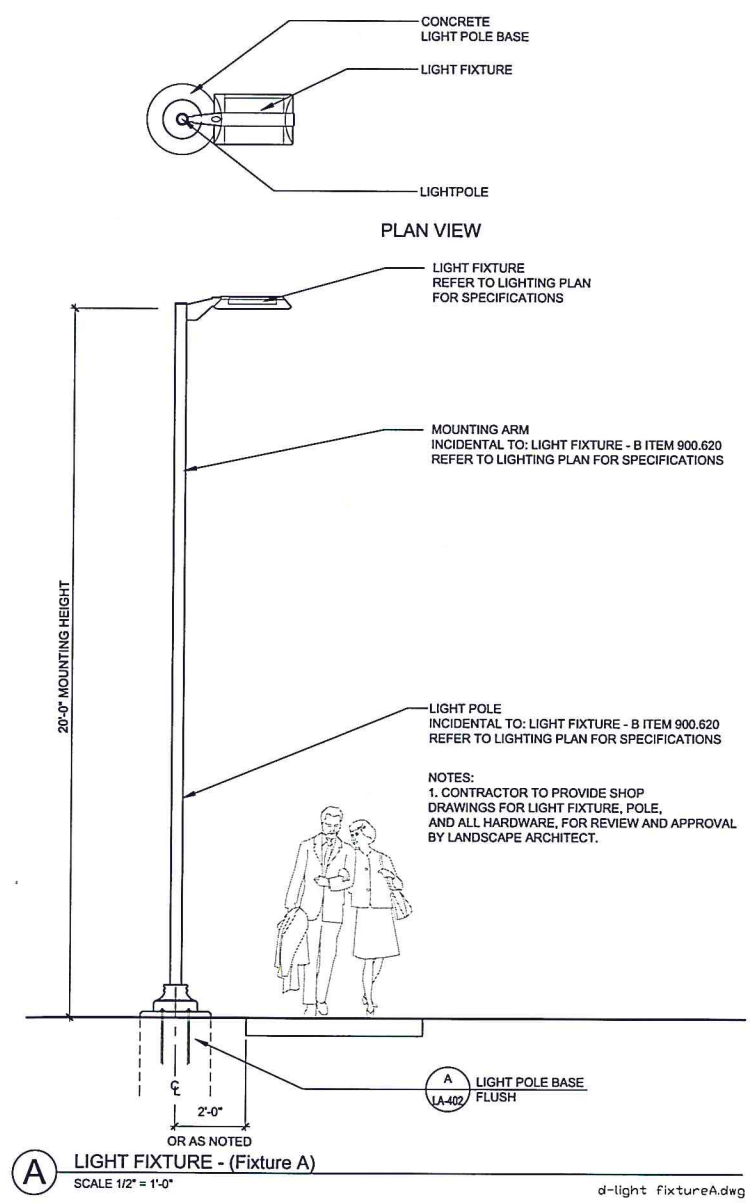
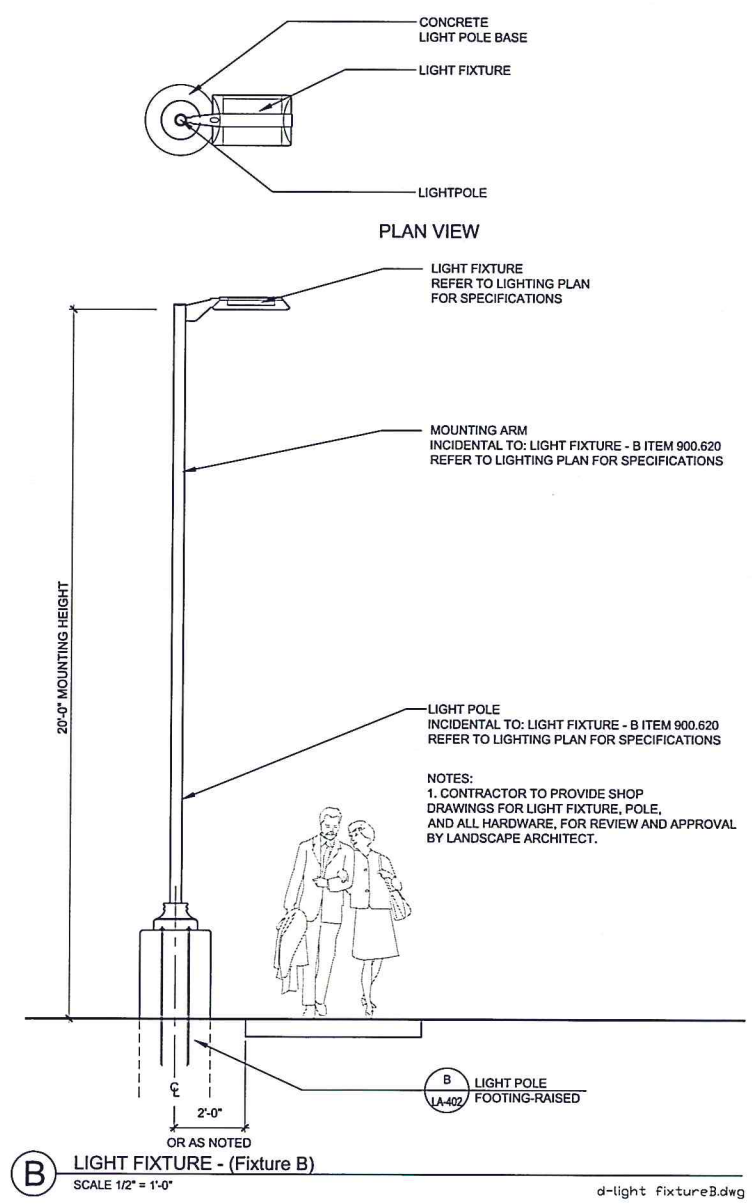
CITY MARKET  
SOUTH END

Burlington,  
Vermont

PROJECT NO:		A1536.00	
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CHECKED BY:			
DATE LOG:			
Schematic Design		02/12/2016	
Design Development		04/15/2016	
Permit Plans		04/22/2016	

LIGHTING  
DETAILS

LA-401





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CITY MARKET  
SOUTH END

Burlington,  
Vermont

THE PROJECT NO.

**A1536.00**

ORIGIN DATE:	SCALE:
04/22/16	AS NOTED

04/22/19 AS NOTED	
DRAWN BY:	CHECKED BY:
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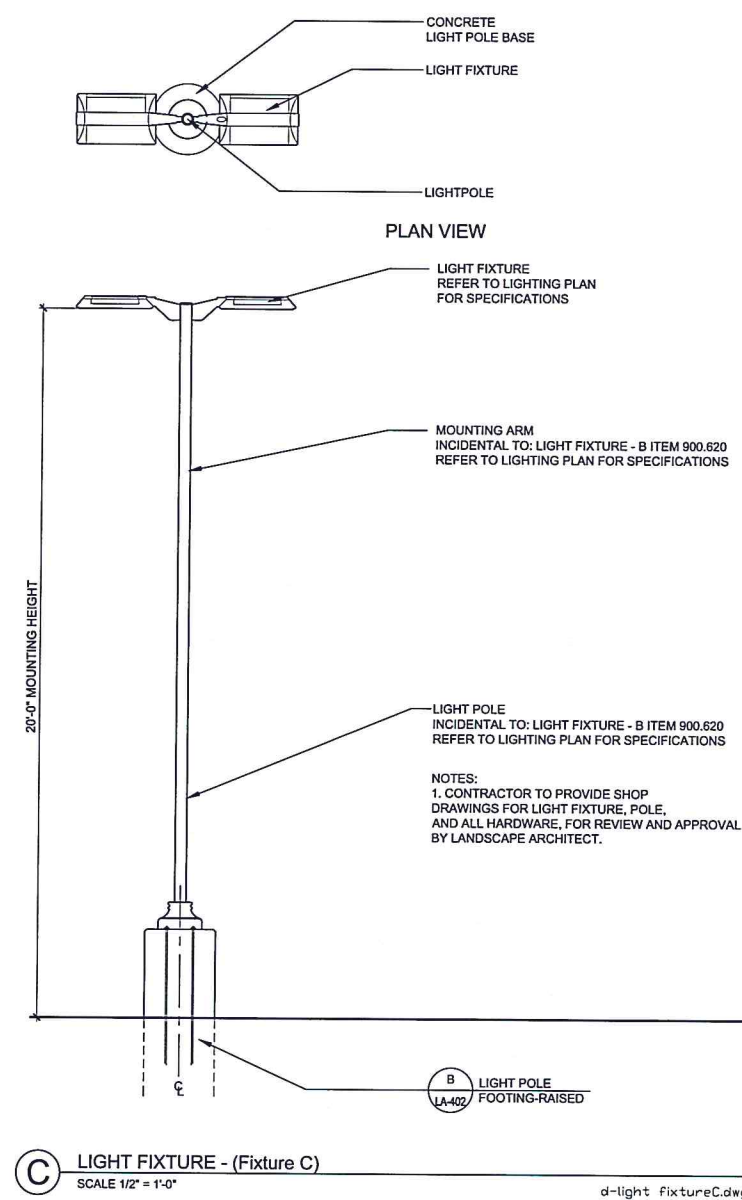
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Permit Plans	04/22/2016

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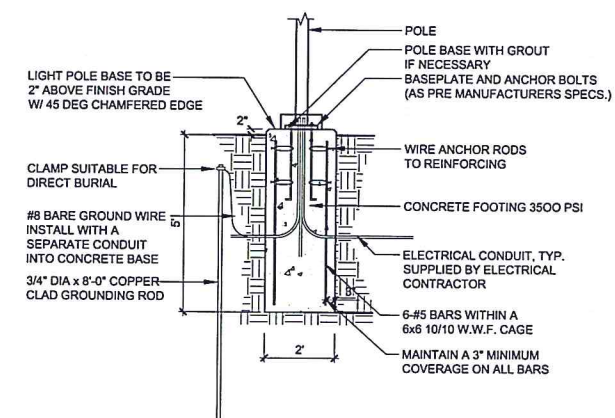
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SHEET NO

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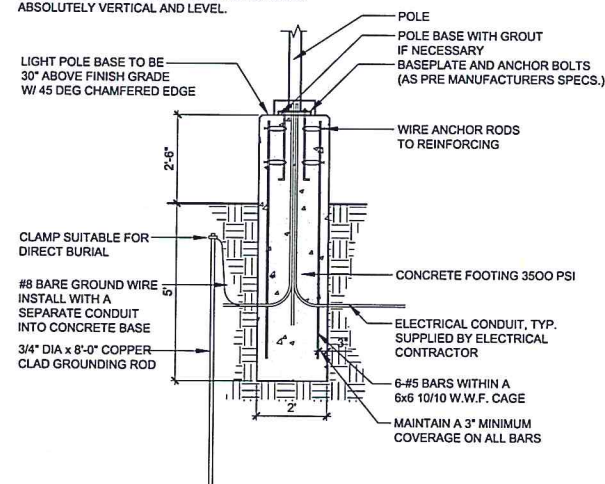


NOTE: POLE BASE IS TO BE ONE CONTINUOUS POUR. THE CONTRACTOR WILL TAKE SPECIAL CARE TO ENSURE CONCRETE POLE BASES ARE INSTALLED ABSOLUTELY VERTICAL AND LEVEL.



**A** LIGHT POLE FOOTING - FLUSH  
SCALE 1/2" = 1'-0" d-light footing - flush.dwg

NOTE: POLE BASE IS TO BE ONE CONTINUOUS POUR. THE CONTRACTOR WILL TAKE SPECIAL CARE TO ENSURE CONCRETE POLE BASES ARE INSTALLED ABSOLUTELY VERTICAL AND LEVEL.



**B** LIGHT POLE FOOTING - RAISED  
SCALE 1/2" = 1'-0" d-light footing - raised.dwg



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BUILDING  
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SOUTH END

Burlington,  
Vermont

PROJECT NO.	A1536.00
DATE	01/01/16
SCALE	1/8" = 1'-0"
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CHECKED BY	BL
DESIGNED BY	02/12/2016
DESIGN DEVELOPMENT	04/15/2016
PERMIT PLANS	04/22/2016

1ST FLOOR PLAN

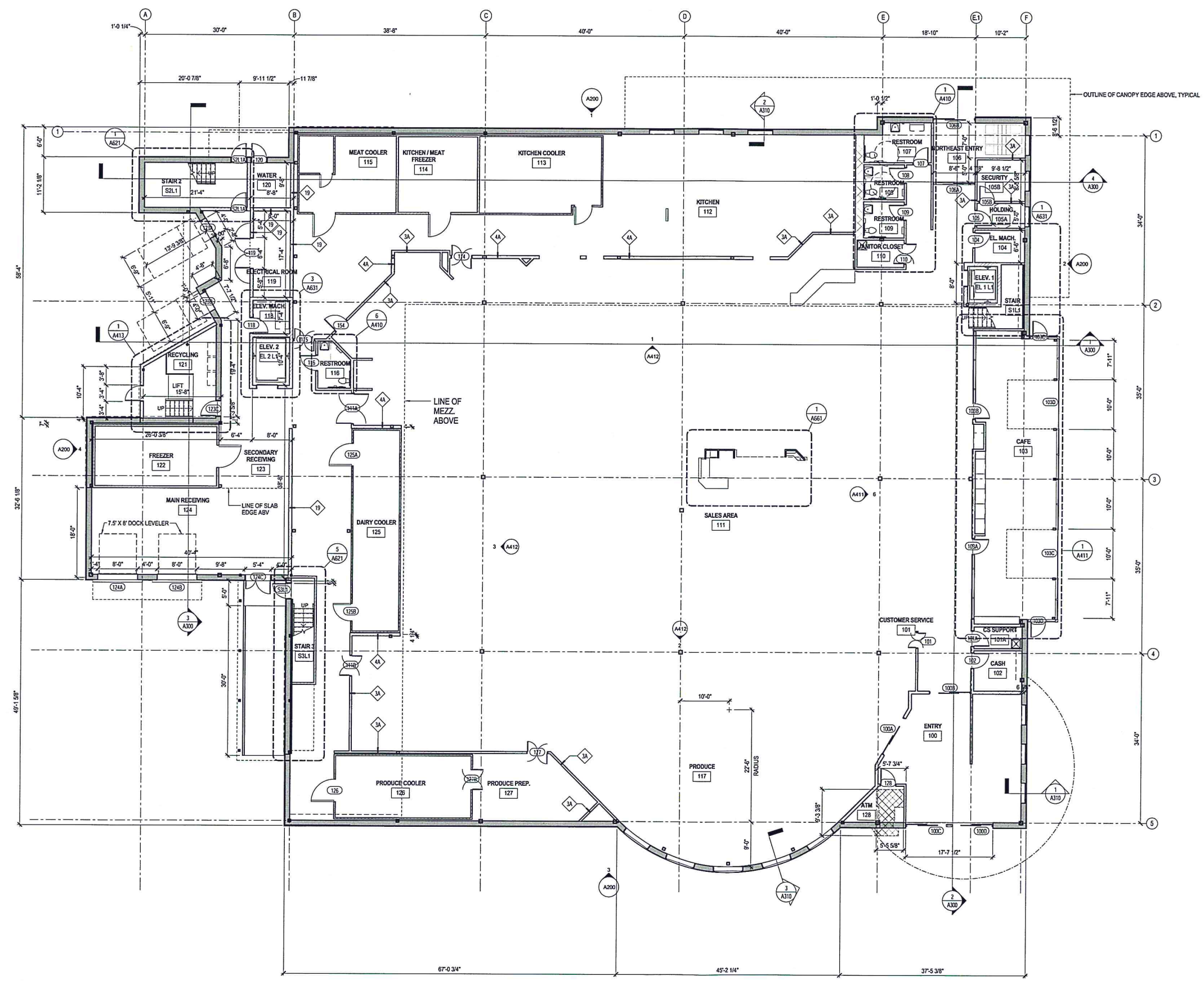
A101

### FLOOR PLAN GENERAL NOTES

- ALSO SEE SYMBOL LEGEND ON COVER SHEET.
1. DIMENSIONS: ALL INTERIOR DIMENSIONS ARE TO FACE OF GWB OR OTHER FINISH UNLESS OTHERWISE NOTED. EXTERIOR DIMENSIONS ARE TO FACE OF CLADDING UNLESS OTHERWISE NOTED.
  2. PLANS ARE TO BE VIEWED IN CONJUNCTION WITH CIVIL, LANDSCAPE, STRUCTURAL, MEPPF, AND ALL OTHER TRADES, AS APPROPRIATE. DISCREPANCIES ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR RESOLUTION BEFORE COMMENCING WORK.
  3. ALL NON-ARCHITECTURAL INFORMATION SHOWN HERE IS FOR REFERENCE ONLY.
  4. REFER TO CIVIL PLANS FOR LIMIT OF WORK.
  5. REFER TO 5200 LIFE SAFETY PLANS FOR LOCATIONS OF SMOKE AND FIRE RESISTANT RATED CONSTRUCTION.
  6. THE DISTANCE FROM THE HINGE SIDE OF THE DOOR TO THE FACE OF ADJACENT PERPENDICULAR WALL SHALL BE 6 INCHES (INCLUDING FRAME) UNLESS NOTED OTHERWISE.
  7. ALL VERTICAL AND HORIZONTAL PENETRATIONS THROUGH RATED ASSEMBLIES ARE TO BE SEALED WITH UL-LISTED FIRESTOPPING AND/OR SEALANT ASSEMBLIES TO MAINTAIN RATING.
  8. KEEP STANDPIPES AND ASSOCIATED ASSEMBLIES CLEAR OF THE REQUIRED PATH OF EGRESS.

### FLOOR PLAN LEGEND

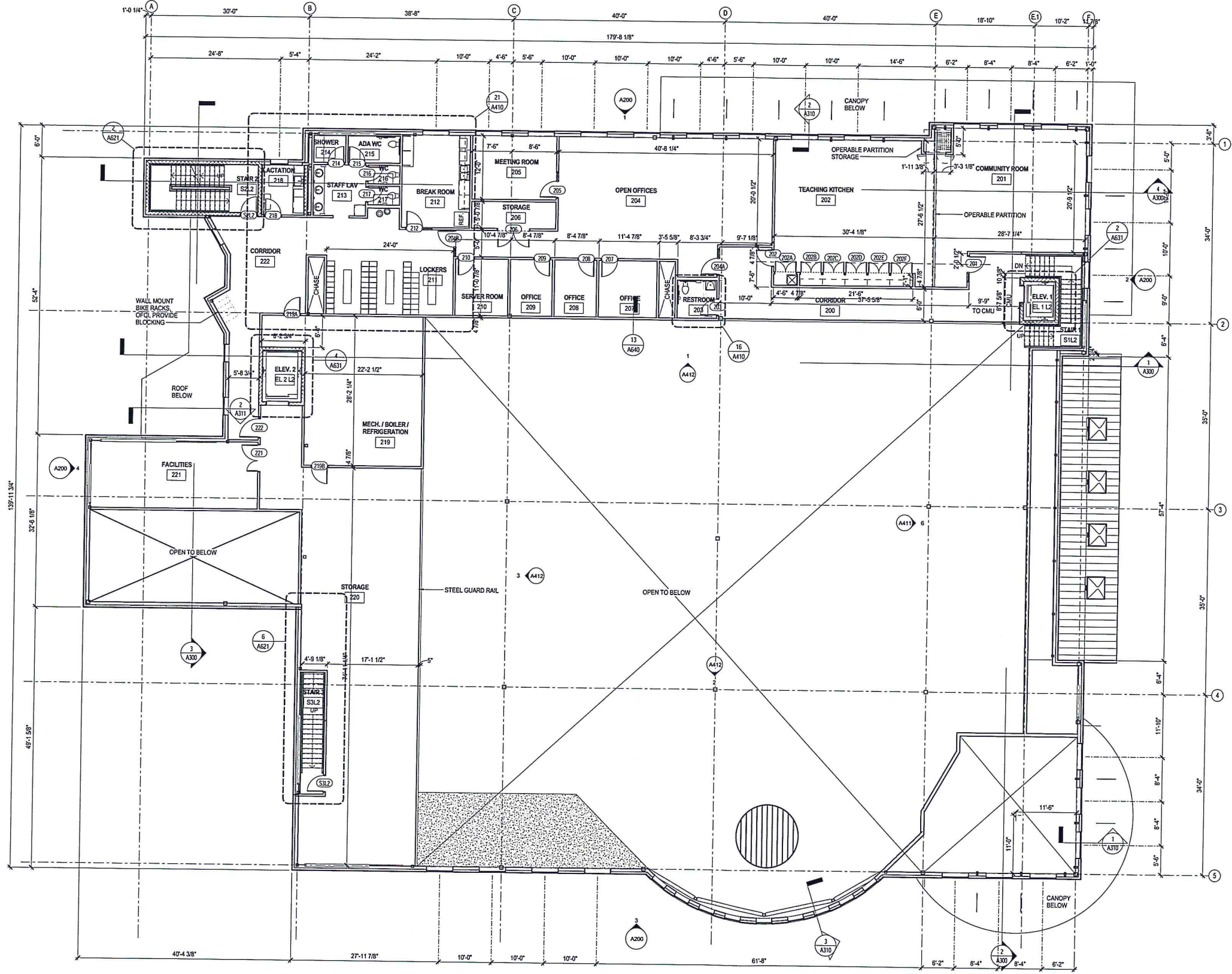
- ALSO SEE SYMBOL LEGEND ON COVER SHEET
- EXISTING WALL / COLUMN TO REMAIN
  - NEW METAL STUD / GYPSUM WALLBOARD WALL
  - NEW MASONRY WALL
  - NEW STEEL / CONCRETE COLUMN - SEE STRUCTURAL 1" FIREPROOFING, TYP FOR ALL STEEL COLUMNS.
  - FIRE EXTINGUISHER CABINET:
    - FEC-1: SEMI-RECESSED CABINET W/ FE-1
    - FEC-2: SURFACE MOUNT CABINET W/ FE-1
  - FIRE EXTINGUISHER ON WALL BRACKET:
    - FE-1: MULTIPURPOSE DRY CHEM. EXTINGUISHER (TYPE A-B-C)
    - FE-2: KITCHEN GREASE EXTINGUISHER (TYPE K)
  - GWB COLUMN ENCLOSURE
  - GCE
  - MCE
  - METAL COLUMN ENCLOSURE
  - PORCELAIN TILE COLUMN ENCLOSURE (KITCHEN, TLT.S TYP.)
  - PCE
- Room name: ROOM TAG - SEE A900 FOR FINISHES  
ROOM NAME  
ROOM NUMBER
- 1- WALL TAG - SEE SHEETS A003, A004  
WALL TYPE  
WHERE A WALLTYPE LEADER PASSES THROUGH 2 OR MORE WALLS, ALL OF THOSE WALLS SHALL BE OF THE TYPE INDICATED.
- 101- DOOR TAG - SEE SHEET A800  
DOOR NUMBER
- 102A- WINDOW OR CURTAINWALL TAG  
SEE SHEET A810  
WINDOW OR CURTAINWALL TYPE



1 LEVEL 1  
A101 SCALE: 1/8" = 1'-0"

N - PROJECT NORTH  
GRAPHIC SCALE  
0 4 8 16





FLOOR PLAN GENERAL NOTES

- ALSO SEE SYMBOL LEGEND ON COVER SHEET.
1. DIMENSIONS: ALL INTERIOR DIMENSIONS ARE TO FACE OF GWB OR OTHER FINISH UNLESS OTHERWISE NOTED. EXTERIOR DIMENSIONS ARE TO FACE OF CLADDING UNLESS NOTED OTHERWISE.
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  7. ALL VERTICAL AND HORIZONTAL PENETRATIONS THROUGH RATED ASSEMBLIES ARE TO BE SEALED WITH UL-LISTED FIRESAFING AND/OR SEALANT ASSEMBLIES TO MAINTAIN RATING.
  8. KEEP STANDPIPES AND ASSOCIATED ASSEMBLIES CLEAR OF THE REQUIRED PATH OF EGRESS.

NOT FOR CONSTRUCTION.  
NOT FOR BUILDING PERMIT.



FLOOR PLAN LEGEND

- ALSO SEE SYMBOL LEGEND ON COVERSHEET
- EXISTING WALL / COLUMN TO REMAIN
  - NEW METAL STUD / GYPSUM WALLBOARD WALL
  - NEW MASONRY WALL
  - NEW STEEL / CONCRETE COLUMN - SEE STRUCTURAL 1" FIREPROOFING, TYP FOR ALL STEEL COLUMNS.
  - FIRE EXTINGUISHER CABINET:
    - FEC-1: SEMI-RECESSED CABINET W/ FE-1
    - FEC-2: SURFACE MOUNT CABINET W/ FE-1
  - FIRE EXTINGUISHER ON WALL BRACKET:
    - FE-1: MULTI-PURPOSE DRY CHEM. EXTINGUISHER (TYPE A-B-C)
    - FE-2: KITCHEN GREASE EXTINGUISHER (TYPE K)
  - GWB COLUMN ENCLOSURE
  - METAL COLUMN ENCLOSURE
  - PORCELAIN TILE COLUMN ENCLOSURE (KITCHEN, TLT-S TYP.)
- Room name - SEE A800 FOR FINISHES
- 101 - ROOM NAME
  - 102 - ROOM NUMBER
  - 103 - WALL TAG - SEE SHEETS A003, A004
  - 104 - WALL TYPE
  - 105 - WHERE A WALLTYPE LEADER PASSES THROUGH 2 OR MORE WALLS, ALL OF THOSE WALLS SHALL BE OF THE TYPE INDICATED.
  - 106 - DOOR TAG - SEE SHEET A800
  - 107 - DOOR NUMBER
  - 108 - WINDOW OR CURTAINWALL TAG
  - 109 - SEE SHEET A810
  - 110 - WINDOW OR CURTAINWALL TYPE

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CITY MARKET  
SOUTH END

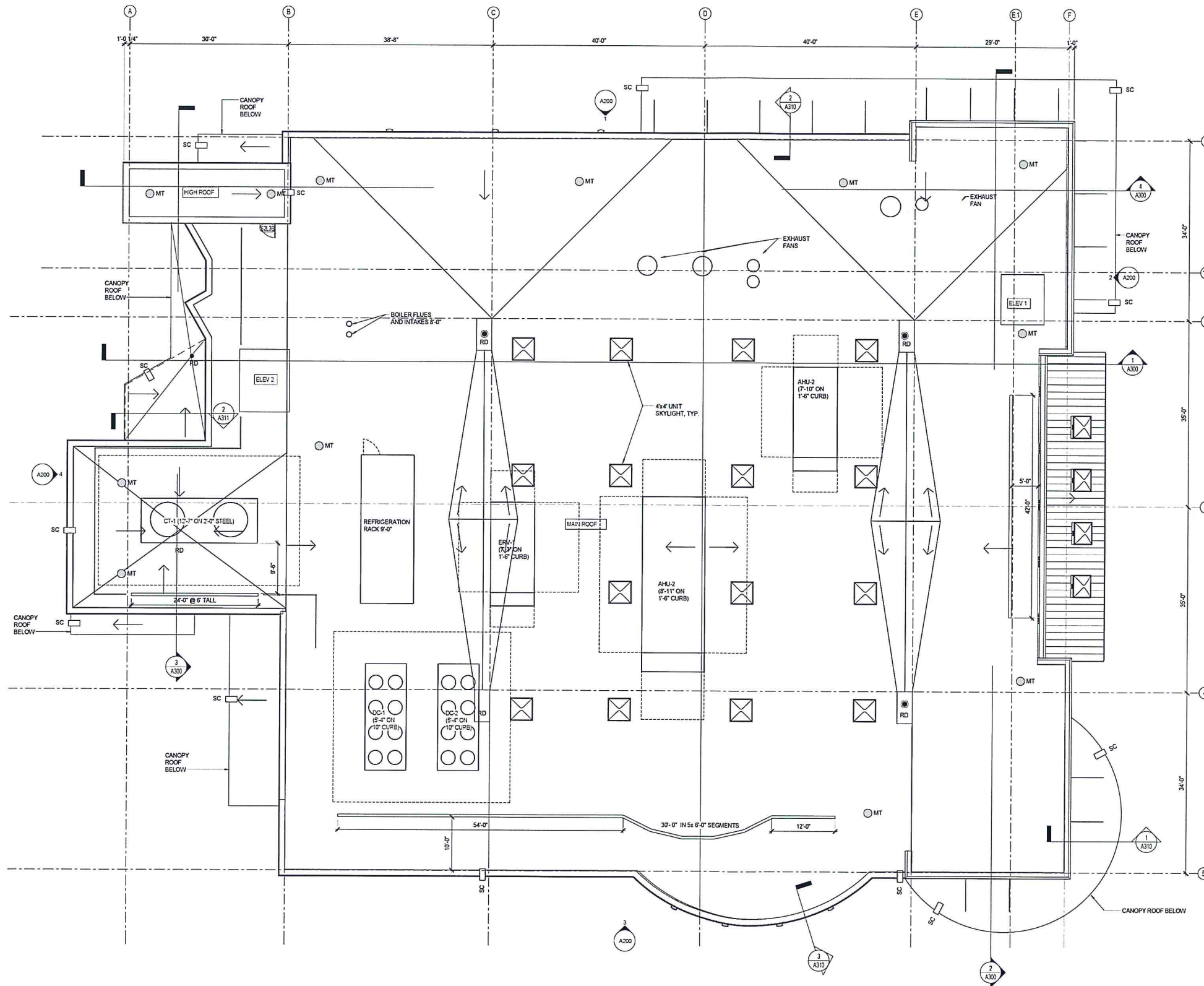
Burlington,  
Vermont

PROJECT NO.	A1536.00
DATE	08/16/12
SCALE	1/8" = 1'-0"
DRAWN BY	RF
CHECKED BY	BL
DATE	05/12/2018
DESIGN DEVELOPMENT	04/15/2018
PERMIT PLANS	04/22/2018

MEZZANINE  
FLOOR PLAN

A102





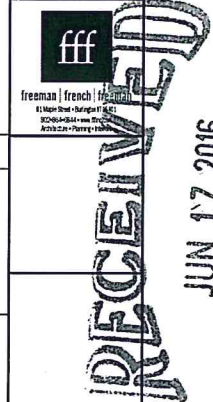
**ROOF PLAN LEGEND**

- RD ROOF DRAIN
- MT MAINTENANCE TIEDOWN
- └ SC SCUPPER
- └ SCP SCUPPER TO PAD ON ROOF BELOW
- ▭ SVRL SCUPPER WITH RAIN LEADER TO PAD ON ROOF BELOW
- ⤴ RMF ROOF MANIFOLD

**ROOF PLAN GENERAL NOTES**

- SEE EXTERIOR WALL SECTION SHEETS AND EXTERIOR ASSEMBLIES SHEET FOR ROOF SYSTEM NOTES.
- SEE MEP/FP DRAWINGS & SPECIFICATIONS FOR ROOF TOP EQUIPMENT REQUIREMENTS INCLUDING CURBS.
- SEE PLUMBING DVGS FOR ROOF DRAIN QUANTITIES, SIZES & LAYOUT. CONTACT ARCHITECT IF DISCREPANCIES ARE FOUND.
- SECONDARY ROOF DRAINAGE IS PROVIDED USING SCUPPERS. SEE PLAN FOR SCUPPER SIZE & LOCATIONS.
- ROOF DECK IS TAPERED. INSULATION REQUIRED TO SLOOPE TO DRAIN IS TAPERED AT 1/4" PER FOOT. CRICKETS ARE TAPERED AT 1/2" PER FOOT, UNLESS OTHERWISE NOTED.

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**CITY MARKET SOUTHEAST**

Burlington, Vermont

**A1536.00**

01/08/16 1/8" = 1'-0"

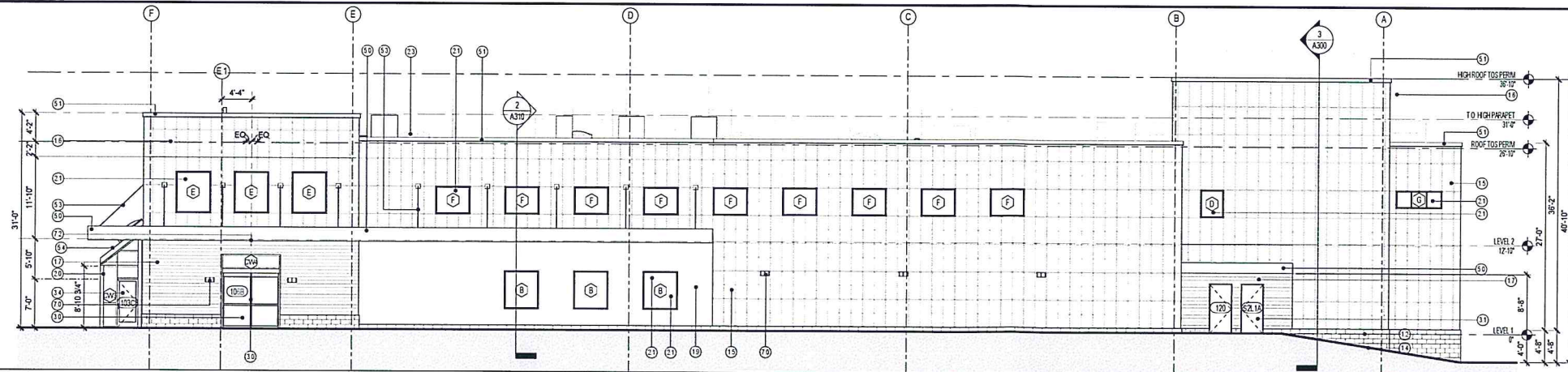
AC BL

Schematic Design 02/13/2014  
Design Development 04/15/2014  
Permit Plans 04/22/2014  
Permit Plans 04/27/2014

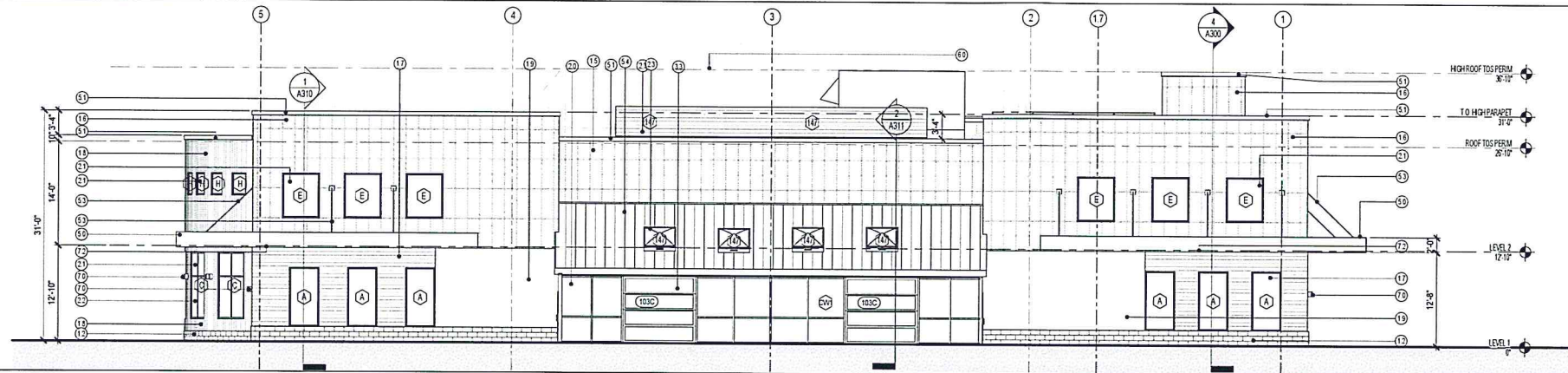
**ROOF PLAN**

**A103**

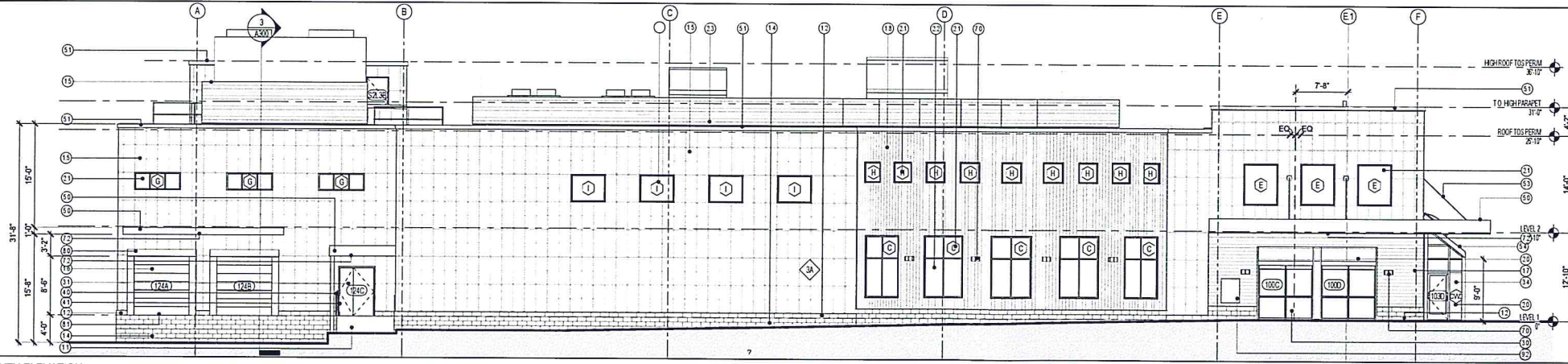




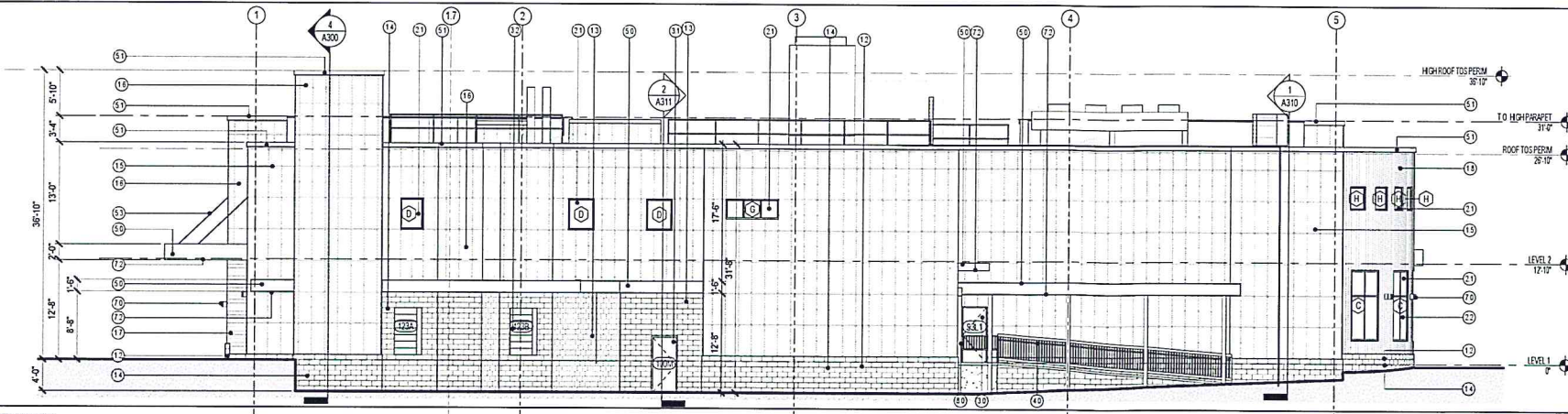
1 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

KEY	KEYNOTE
1.1	CONCRETE RAMP [03 3000]
1.2	STONE SILL COURSE [04 2000]
1.3	GROUND FACE BLOCK WALL [04 2000]
1.4	GROUND FACE BLOCK VENEER [04 2000]
1.5	FACE FASTENED ALUMINUM PANEL SYSTEM- CUSTOM FINISH
1.6	FACE FASTENED ALUMINUM PANEL SYSTEM- CUSTOM IMAGES
1.7	STAINED CEDAR HORIZONTAL SIDING
1.8	STAINED CEDAR VERTICAL SIDING
1.9	EXTERIOR GYPSUM (ART WALL BY OWNER)
2.0	ALUMINUM CURTAINWALL VISION GLAZING [08 4413]
2.1	FIBERGLASS WINDOW VISION GLAZING [08 4413]
2.2	FIBERGLASS WINDOW SPANDREL [08 4010]
2.3	UNIT SKYLIGHT [08 8000]
3.0	ALUMINUM ENTRY DOOR SYSTEM [08 1116]
3.1	INSULATED HOLLOW METAL DOOR & THERMALLY BROKEN FRAME
3.2	INSULATED OVERHEAD SECTIONAL DOOR [08 3613]
3.3	ALUMINUM GLAZED OVERHEAD SECTIONAL DOOR
3.4	ALUMINUM STOREFRONT DOOR
4.0	GUARDRAILS [05 5010]
4.1	HANDRAILS [05 5200]
5.0	CANOPY EDGE - PRE-FINISHED METAL FASCIA [05 5002]
5.1	PRE-FINISHED METAL ROOF EDGE [07 5010]
5.3	CANOPY CABLE STAYS AND BRACKETS
5.4	PRE-FINISHED STANDING SEAM METAL ROOF
6.0	MECHANICAL EQUIPMENT, SEE MECHANICAL
7.0	BUILDING MOUNTED SCIENCE
7.2	UNDER CANOPY DOWNLIGHTS
8.0	LOADING DOCK SEALS & BUMPERS [11 1300]
8.1	LOADING DOCK LEVELERS
9.2	AUTOMATIC TELLER MACHINE

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08/17/12 As Indicated

BL BL

Automatic Design 02/22/2014

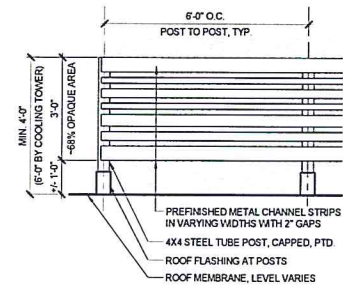
Design Development 04/23/2014

Permit Plans 04/23/2014

Permit Plans 04/23/2014

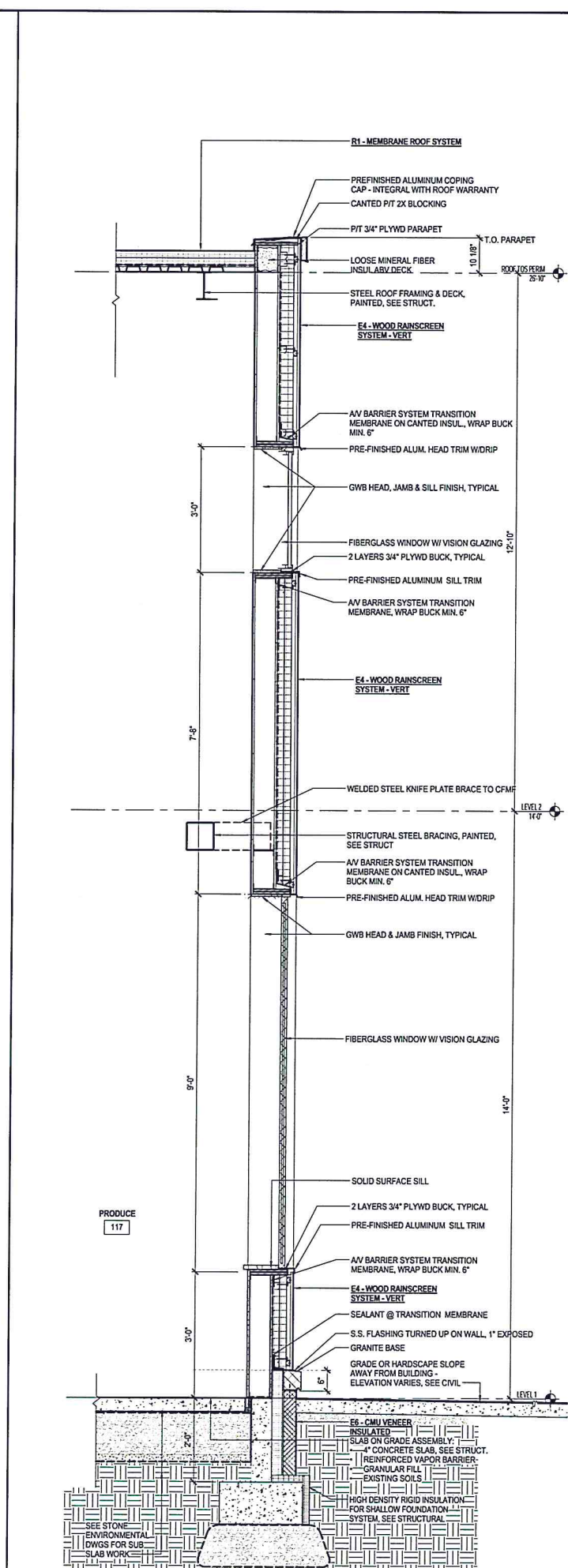
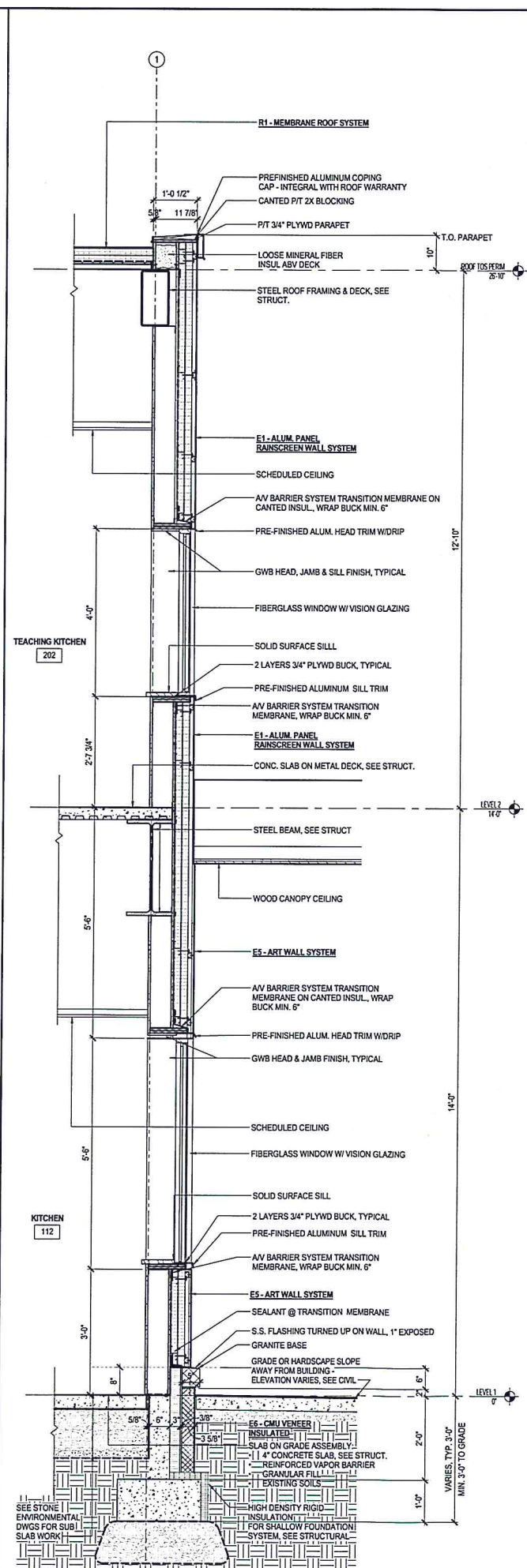
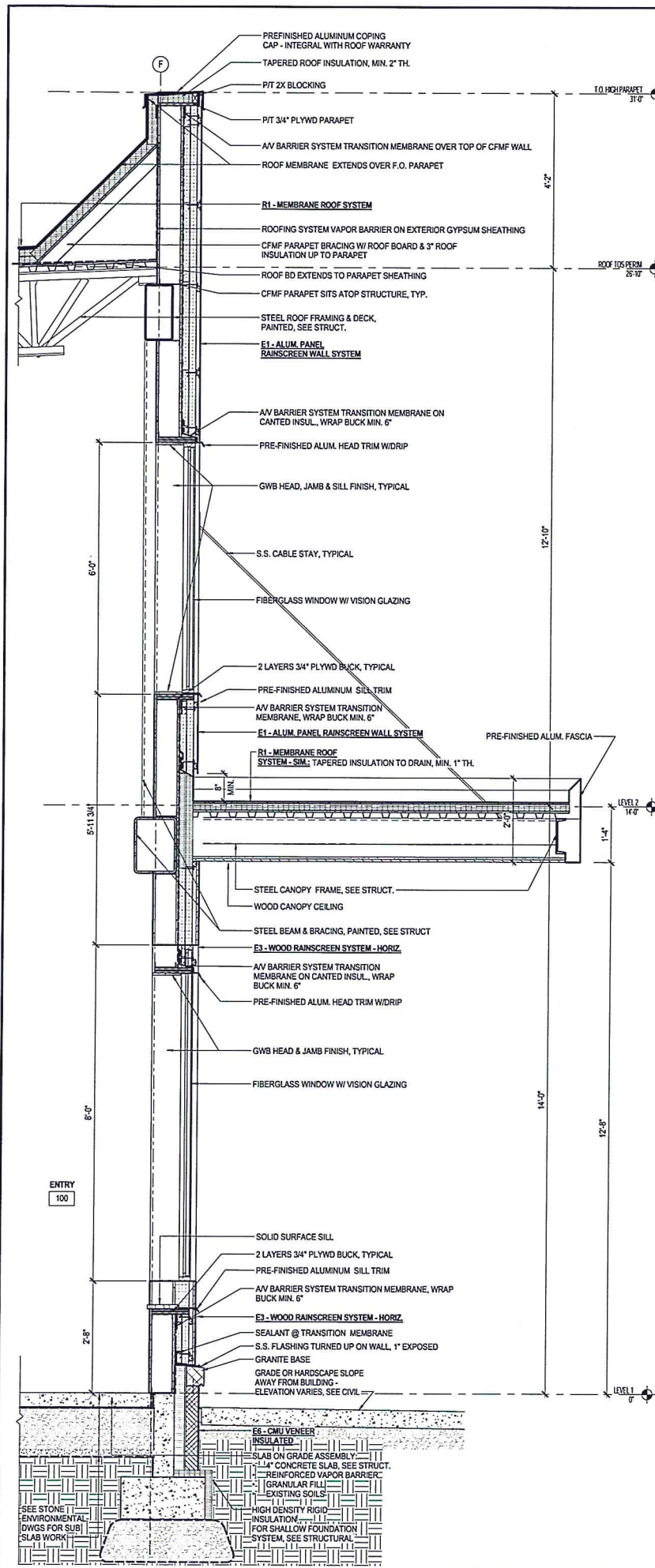
EXTERIOR  
ELEVATIONS

A200



5 ROOF SCREEN ELEVATION, TYP.  
SCALE: 1/2" = 1'-0"





### EXTERIOR ASSEMBLIES

**R1 - MEMBRANE ROOF SYSTEM**  
(IN TO OUT):  
• LOW SLOPE (1/4\"/>

**R2 - METAL ROOF SYSTEM**  
(IN TO OUT):  
• 9/12 SLOPE 1 1/2\"/>

**E1 - ALUMINUM PANEL RAINSCREEN WALL SYSTEM (CFMF BACKUP)**  
(IN TO OUT):  
• 5/8\"/>

**E1R1 - ALUMINUM PANEL RAINSCREEN WALL SYSTEM (CFMF BACKUP) - 1/8\"/>

**E2 - ALUMINUM PANEL RAINSCREEN WALL SYSTEM (CMU BACKUP)**  
(IN TO OUT):  
• NOM. 8\"/>

**E3 - WOOD RAINSCREEN WALL SYSTEM (HORIZONTAL)**  
(IN TO OUT):  
• 5/8\"/>

**E4 - WOOD RAINSCREEN WALL SYSTEM (VERTICAL)**  
(IN TO OUT):  
• 5/8\"/>

**E5 - ART WALL SYSTEM**  
(IN TO OUT):  
• 5/8\"/>

**E6 - CMU VENEER INSULATED (C.I.P. CONCRETE BACKUP)**  
(IN TO OUT):  
• CONCRETE FOUNDATION WALL, SEE STRUCTURAL  
• AIR & WATER BARRIER ABOVE GRADE  
• 3\"/>

**E7 - CMU VENEER UNINSULATED (C.I.P. CONCRETE BACKUP)**  
(IN TO OUT):  
• CONCRETE FOUNDATION WALL, SEE STRUCTURAL  
• 3\"/>

**E8 - CMU VENEER (CMU BACKUP)**  
(IN TO OUT):  
• NOM. 8\"/>

**E9 - CMU WALL**  
(IN TO OUT):  
• NOM. 8\"/>

**E10 - GALV. STEEL PANEL (CMU BACKUP)**  
(IN TO OUT):  
• NOM. 8\"/>

**E11 - GALV. STEEL PANEL (CFMF BACKUP)**  
(IN TO OUT):  
• 5/8\"/>**

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**CITY MARKET SOUTH END**

**Burlington, Vermont**

PROJECT NO: **A1536.00**

DATE: **01/04/15** SCALE: **As Indicated**

DESIGNED BY: **AC** CHECKED BY: **BL**

DESIGN DEVELOPMENT: **02/02/2015**

PERMIT PLANS: **04/15/2015**

**WALL SECTIONS**

**A310**

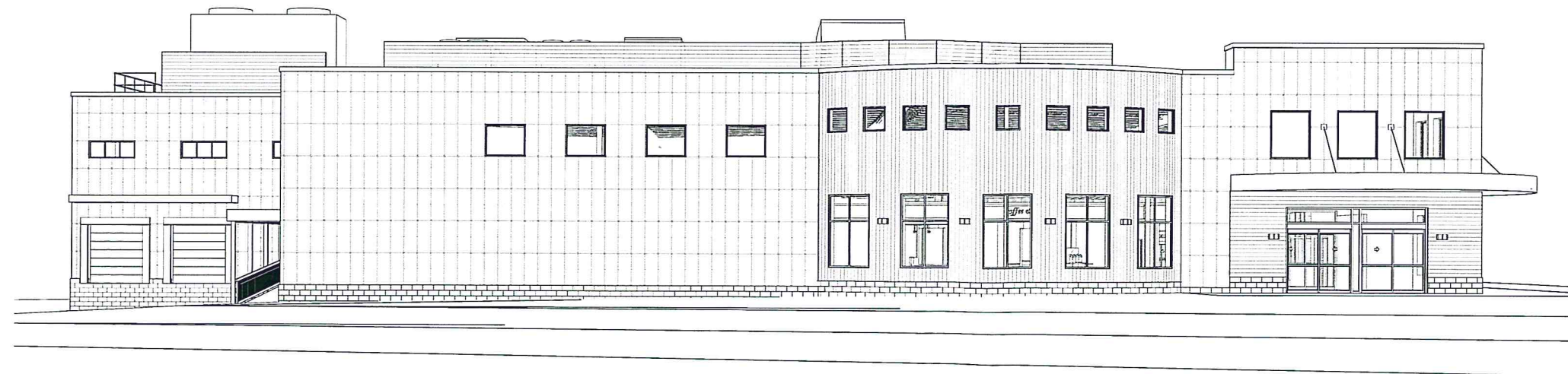
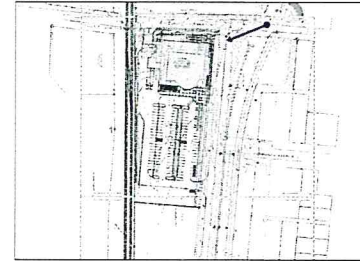




NOTE: PERSPECTIVES FOR REFERENCE ONLY

1 VIEW FROM PARKWAY AND FLYNN  
G401 SCALE:

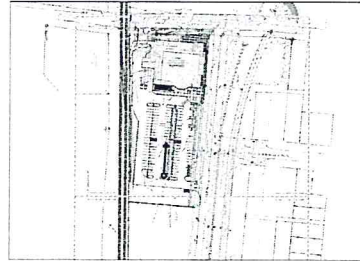
APPROXIMATELY 275' FROM BUILDING



NOTE: PERSPECTIVES FOR REFERENCE ONLY

2 VIEW FROM PARKING LOT  
G401 SCALE:

APPROXIMATELY 300' FROM BUILDING



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SOUTH END

Burlington,  
Vermont

A1536.00

03/30/16

NW BL

Schematic Design 02/15/2014

Design Development 04/15/2014

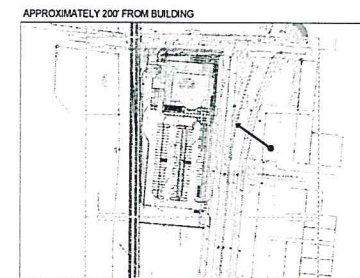
Permit Plans 04/15/2014

Permit Plans 04/17/2014

PERSPECTIVE  
VIEWS

G401

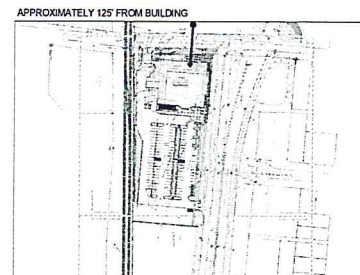
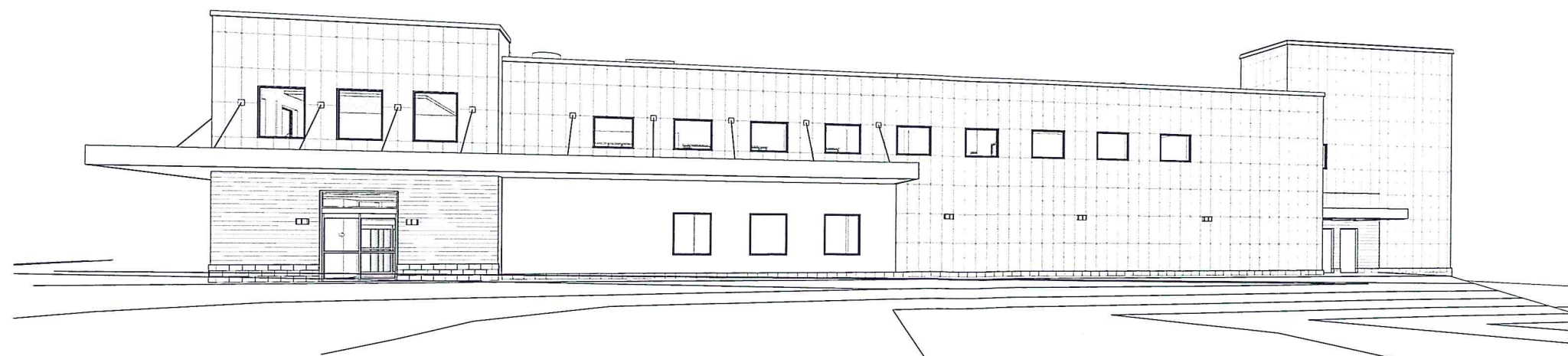




APPROXIMATELY 200' FROM BUILDING

NOTE: PERSPECTIVES FOR REFERENCE ONLY

1 VIEW FROM NEAREST FERGUSON RESIDENCE  
G402 SCALE:



APPROXIMATELY 125' FROM BUILDING

NOTE: PERSPECTIVES FOR REFERENCE ONLY

2 VIEW FROM ACROSS FLYNN AVENUE  
G402 SCALE:

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04/21/16

Author Checker

04/21/2016

04/21/2016

04/21/2016

PERSPECTIVE  
VIEWS

G402



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CITY MARKET  
SOUTH END

Burlington,  
Vermont

TOTAL PROJECT COST	
A1536.00	
DATE	SCALE
04/21/16	
DRAWN BY	CHECKED BY
Author	Checker
TASK LOG	
Schematic Design	02/22/2016
Design Development	04/15/2016
Final Plans	04/22/2016

COLOR  
PERSPECTIVE

PROJECT NO.  
G500

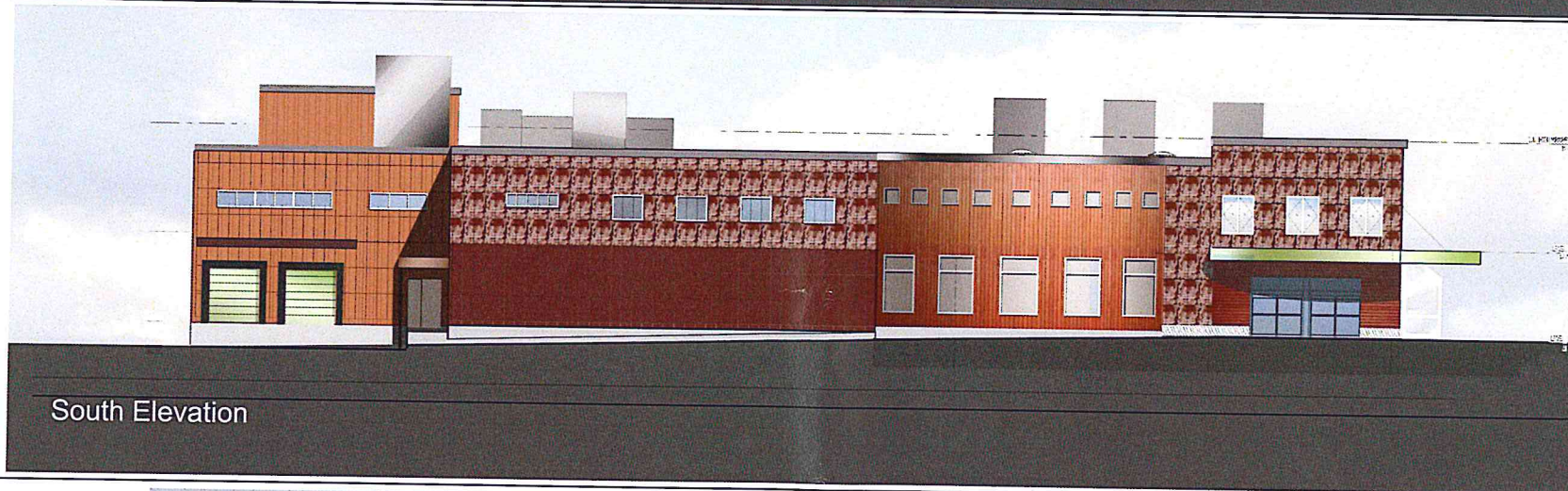




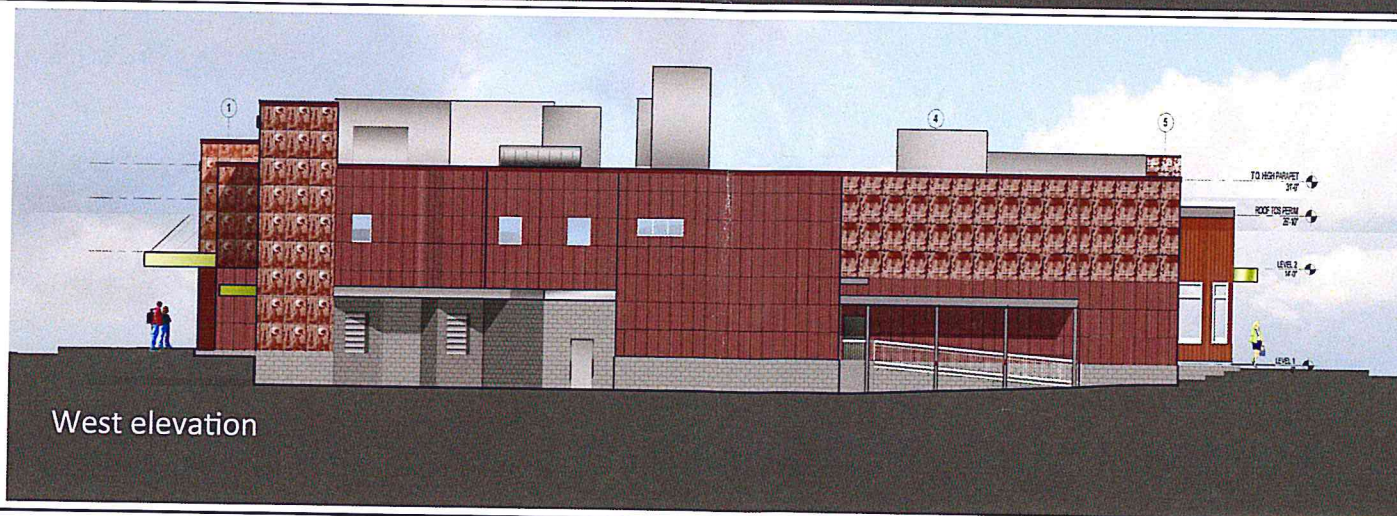
North Elevation



EAST ELEVATION



South Elevation



West elevation

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CITY MARKET  
SOUTH END

Burlington,  
Vermont

PROJECT NO.	A1536.00
CREATION DATE	04/21/16
SCALE	
DRAWN BY	Author
CHECKED BY	Checker
DATE	02/13/2016
Schematic Design	04/15/2016
Design Development	04/22/2016
Final Plans	

COLOR  
ELEVATIONS

SHEET NO.  
**G501**